



Arlington Zoning Board of Appeals

Date: Tuesday, June 14, 2022
Time: 7:30 PM
Location: Conducted by remote participation
Additional Details:

Agenda Items

Administrative Items

1. **Remote Participation Details**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Baker's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: <https://www.mass.gov/doc/open-meeting-law-order-march-12-2020/download>

You are invited to a Zoom meeting.

When: Jun 14, 2022 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

<https://town-arlington-ma-us.zoom.us/meeting/register/tZUuceuhpzwGNZ0rlVnCBL32NC6D7beIN15>

After registering, you will receive a confirmation email containing information about joining the meeting.

Meeting ID: 813 6299 7822

Find your local number: <https://town-arlington-ma-us.zoom.us/u/adNWeNXzLr>

Dial by Location: 1-646-876-9923 US (New York)

Hearings

2. **Docket # 3700 : 38-40 Newport Street**
3. **Docket # 3699 : 68 Brantwood Road**

Meeting Adjourn



Town of Arlington, Massachusetts

Docket # 3700 : 38-40 Newport Street

ATTACHMENTS:

Type	File Name	Description
❑ Reference Material	ZBA_Package_38-40_Newport_Street.pdf	ZBA Package, 38-40 Newport Street



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

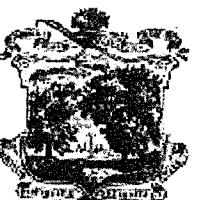
Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Brandon Woolkalis & Kara Bolesky** of Arlington, Massachusetts on May 6, 2022, a petition seeking permission to alter their property located at **38-40 Newport Street- Block Plan 14000-0003-0012.0** Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening June 14, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**
<https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDIrH9BzpUmQMF2y5Ys20gtIBP9> for documentation relating to this petition, visit the ZBA website at www.arlingtonma.gov/zba.

DOCKET NO 3700

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



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51 Grove Street
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DOCKET NO 3700

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**

REQUEST FOR SPECIAL PERMIT

TOWN CLERK'S OFFICE
ARLINGTON, MA 02174

TOWN OF ARLINGTON

2022 MAY -6 AM 9:10

In the matter of the Application of Brandon Woolkalis & Kara E. Bolesky **RECEIVED**
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of
the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning
Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Seeking relief from the definition of usable open space .. specifically that no horizontal dimension
shall be less than 25 ft.

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at
38-40 Newport Street with respect to such relief is sought; that no unfavorable action
has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within
the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full
compliance with any and all conditions and qualifications imposed upon this permission, whether by
the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant
represents that the grounds for the relief sought are as follows:

Due to the size and shape of the lot, a hardship exists with conforming to the definition of usable
open space... specifically that no horizontal dimension shall be less than 25 ft.

E-Mail: bwoolkalis@yahoo.com Signed: Brandon Woolkalis Date: 04/27/2022
Telephone: 617-216-2000 Address: 12 Mystic Bank, Arlington, MA

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

The residential use is allowed in the R-2 District. We are seeking relief from the minimum horizontal dimension of 25 ft. as part of the definition of usable open space.

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

We do meet all of the requirements of the definition of usable open space including the 30% except the existing and proposed do not meet the 25 ft horizontal dimension.

C). Explain why the *requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The added floor area within the existing structure will not create any additional units, or traffic congestions and will not impair pedestrian safety

D). Explain why the *requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The existing and future use is a two family dwelling which is allowed in an R-2 district. The proposed construction will not create any overload to the municipal system or safety/health hazards.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

This project will not reduce the existing non-conformity of usable open space.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The property is surrounded by similar two family dwellings as allowed in this district.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The neighborhood consists of similar two family dwellings, similar lot sizes and similar usable open space challenges. The proposed project will not create an excess of the use.

TOWN OF ARLINGTON
 Dimensional and Parking Information
 For Applications to the Zoning Board of Appeals

1. Property Location: 38-40 Newport Street Zoning District: R-2

2. Present Use/Occupancy: Residential No. of dwelling units 2

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):

2406 Sq. Ft.

4. Proposed Use/Occupancy: Residential No. of dwelling units 2

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):

3834 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	5678	5678	min. 6000
7. Frontage (Ft.)	93.77	93.77	min. 60
8. Floor area ratio	n/a	n/a	max. n/a
9. Lot Coverage (%)	29.1	29.6	max 35
10. Lot Area per Dwelling Unit (Sq. Ft.)	n/a	n/a	min. n/a
11. Front Yard Depth (Ft.)	16.34	16.34	min. 20
12. Left Side Yard Depth (Ft.)	10.4	10.4	min. 10
13. Right Side Yard Depth (Ft.)	18.9	18.9	min. 20
14. Rear Yard Depth (Ft.)	34.6	34.6	min. 20
15. Height (Stories)	2.5	2.5	max. 2.5
16. Height (Ft.)	29.46	30.40	max. 35
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	2178	2178	
17A. Landscaped Open Space (% of GFA)	90.5	56.8	min.
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	1167	1167	
18A. Usable Open Space (% of GFA)	48.5	30.4	min.
19. Number of Parking Spaces	2	2	min. 2
20. Parking area setbacks (if applicable)	n/a	n/a	min. n/a
21. Number of Loading Spaces (if applicable)	n/a	n/a	min. n/a
22. Type of construction	wood	wood	N/A
23. Slope of proposed roof(s) (in. per ft.)	<u>1/2</u> 75%	<u>1/2</u> 2.08%	min.

TOWN OF ARLINGTON
 Open Space / Gross Floor Area Information
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 38-40 Newport Street

Zoning District: R-2

OPEN SPACE*	EXISTING	PROPOSED
Total lot area	<u>5678</u>	<u>5678</u>
Open Space, Usable	<u>1167</u>	<u>1167</u>
Open Space, Landscaped	<u>2178</u>	<u>2178</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA)†

Accessory Building	<u>0</u>	<u>0</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>0</u>	<u>931</u>
1 st Floor	<u>1099</u>	<u>1099</u>
2 nd Floor	<u>1142</u>	<u>1142</u>
3 rd Floor	<u>0</u>	<u>0</u>
4 th Floor	<u>0</u>	<u>0</u>
5 th Floor	<u>0</u>	<u>0</u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>0</u>	<u>497</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>0</u>	<u>0</u>
All weather habitable porches and balconies	<u>165</u>	<u>165</u>
Total Gross Floor Area (GFA)	<u>2406</u>	<u>3834</u>

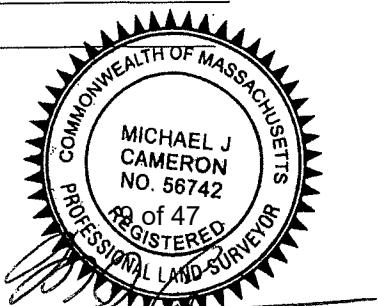
† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)	<u>2178</u>	<u>2178</u>
Landscaped Open Space (% of GFA)	<u>90.5</u>	<u>56.8</u>
Usable Open Space (Sq. Ft.)	<u>1167</u>	<u>1167</u>
Usable Open Space (% of GFA)	<u>48.5</u>	<u>30.4</u>

This worksheet applies to plans dated 04/22/2022 designed by D&A Survey Associates, Inc.

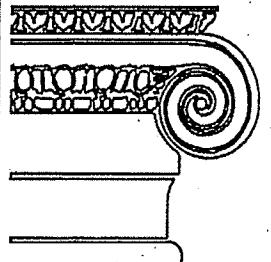
Reviewed with Building Inspector: _____ Date: _____



NEW ADDITION TO EXISTING TWO FAMILY

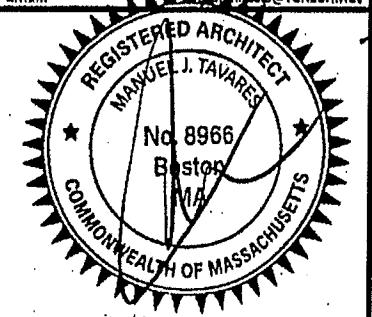
38-40 NEWPORT STREET, ARLINGTON, MA

#	REVISIONS	DATE
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MJ TAVARES
ARCHITECTS

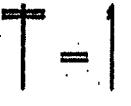
200 Broadway Suite 104 Lynnfield, MA 01940
Phone: 781-595-8400 Fax: 781-595-8300
Email: mjarchitects@verizon.net



PREPARED FOR:
MR BRANDON WOOLKALIS

ADDRESS:
**38-40 NEWPORT STREET
ARLINGTON, MA**

DRAWING TITLE:
**ARCHITECTURAL
DATA SHEET**

SCALE	GIVEN	 = 1
DATE	04/13/2022	
DRAWN BY	J.T.	
CHECKED BY	MJT	
PROJECT #	222-19	

INDEX OF DRAWINGS

T-1	TITLE SHEET/ ARCHITECTURAL DATA
A-1	BASEMENT FLOOR PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	ATTIC PLAN
A-1.4	ROOF PLAN
A-2	FRONT ELEVATION
A-2.1	RIGHT SIDE ELEVATION
A-2.2	REAR ELEVATION
A-2.3	LEFT SIDE ELEVATION
A-3	PARTIAL BUILDING SECTION

GENERAL NOTES:

1. TYPICAL INTERIOR WALLS SHALL BE 2"X4" WOOD STUD @16" O.C. WITH $\frac{1}{2}$ " GYPSUM WALL BOARD, UNLESS OTHERWISE NOTED.
2. DIMENSIONS SHOWN ARE TO THE FACE OF STUD, UNLESS OTHERWISE NOTED.

LEGEND:

A	EXTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " G.W.B., $\frac{1}{2}$ " CDX FLY, AND SIDING
B	INTERIOR WALL: 2"X4" @16" O.C. W/ $\frac{1}{2}$ " G.W.B. ON BOTH SIDES
C	INTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " G.W.B. ON BOTH SIDES
D	INTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " G.W.B. ON ONE SIDE
E	INTERIOR WALL: 2"X4" @16" O.C. W/ $\frac{1}{2}$ " G.W.B. ON ONE SIDE
	EXISTING WALLS

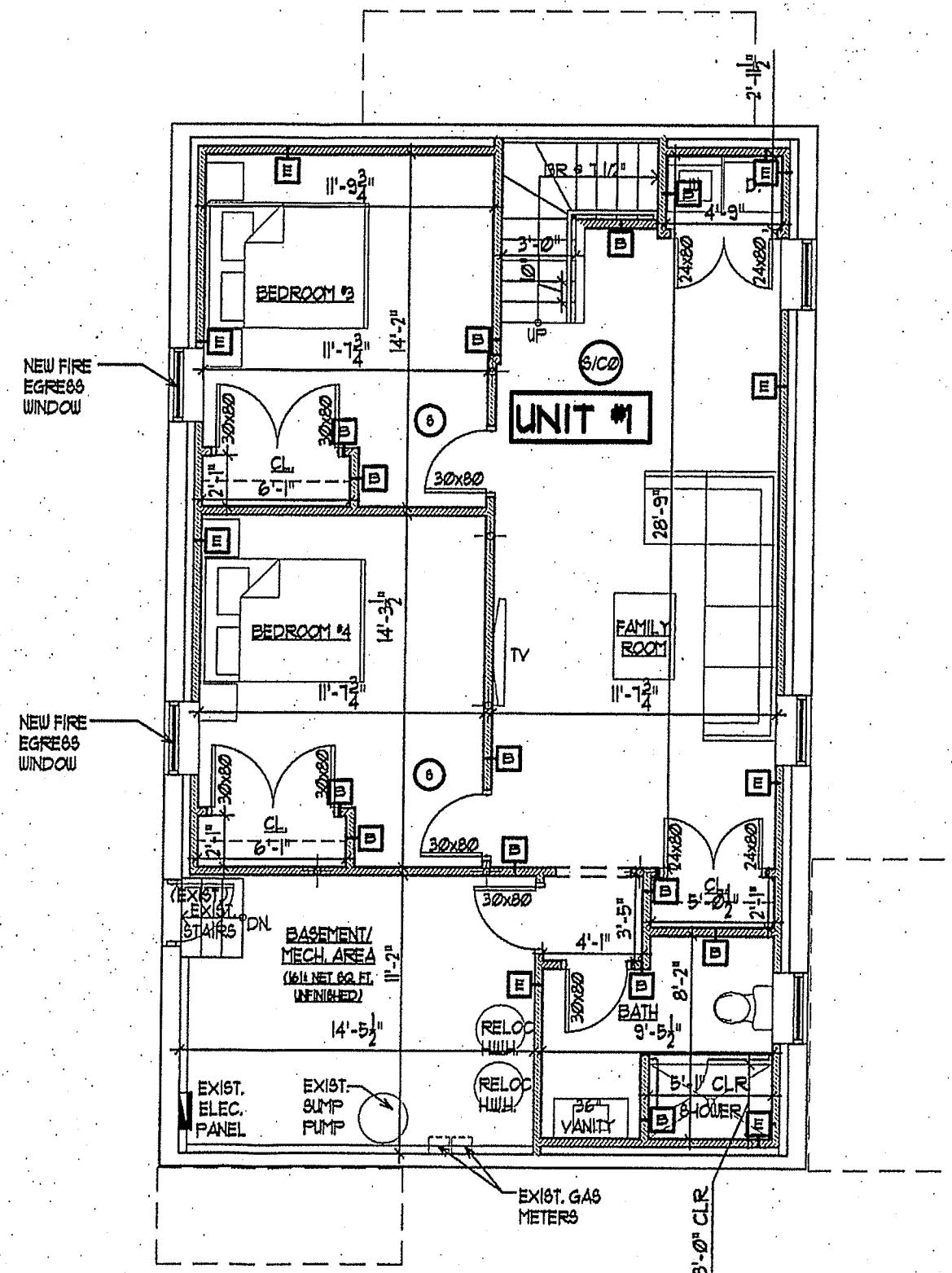
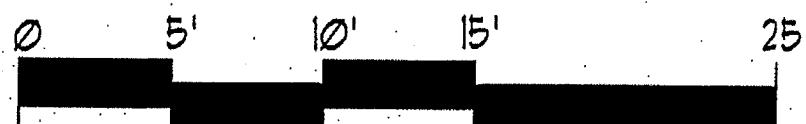
LIFE SAFETY LEGEND

6 SMOKE DETECTOR

S/CO COMBO SMOKE AND CARBON MONOXIDE DETECTOR

BASEMENT FLOOR PLAN: 740± NET SQ. FT

GRAPHIC SCALE:



GENERAL NOTES:

1. TYPICAL INTERIOR WALLS SHALL BE 2"X4" WOOD STUD @16" O.C. WITH $\frac{1}{2}$ " GYPSUM WALL BOARD, UNLESS OTHERWISE NOTED.
2. DIMENSIONS SHOWN ARE TO THE FACE OF STUD, UNLESS OTHERWISE NOTED.

LEGEND:

A		EXTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " GLWB, X" CDX FLY, AND SIDING
B		INTERIOR WALL: 2"X4" @16" O.C. W/ $\frac{1}{2}$ " GLWB. ON BOTH SIDES
C		INTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " GLWB. ON BOTH SIDES
D		INTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " GLWB. ON ONE SIDE
E		INTERIOR WALL: 2"X4" @16" O.C. W/ $\frac{1}{2}$ " GLWB. ON ONE SIDE
		EXISTING WALLS

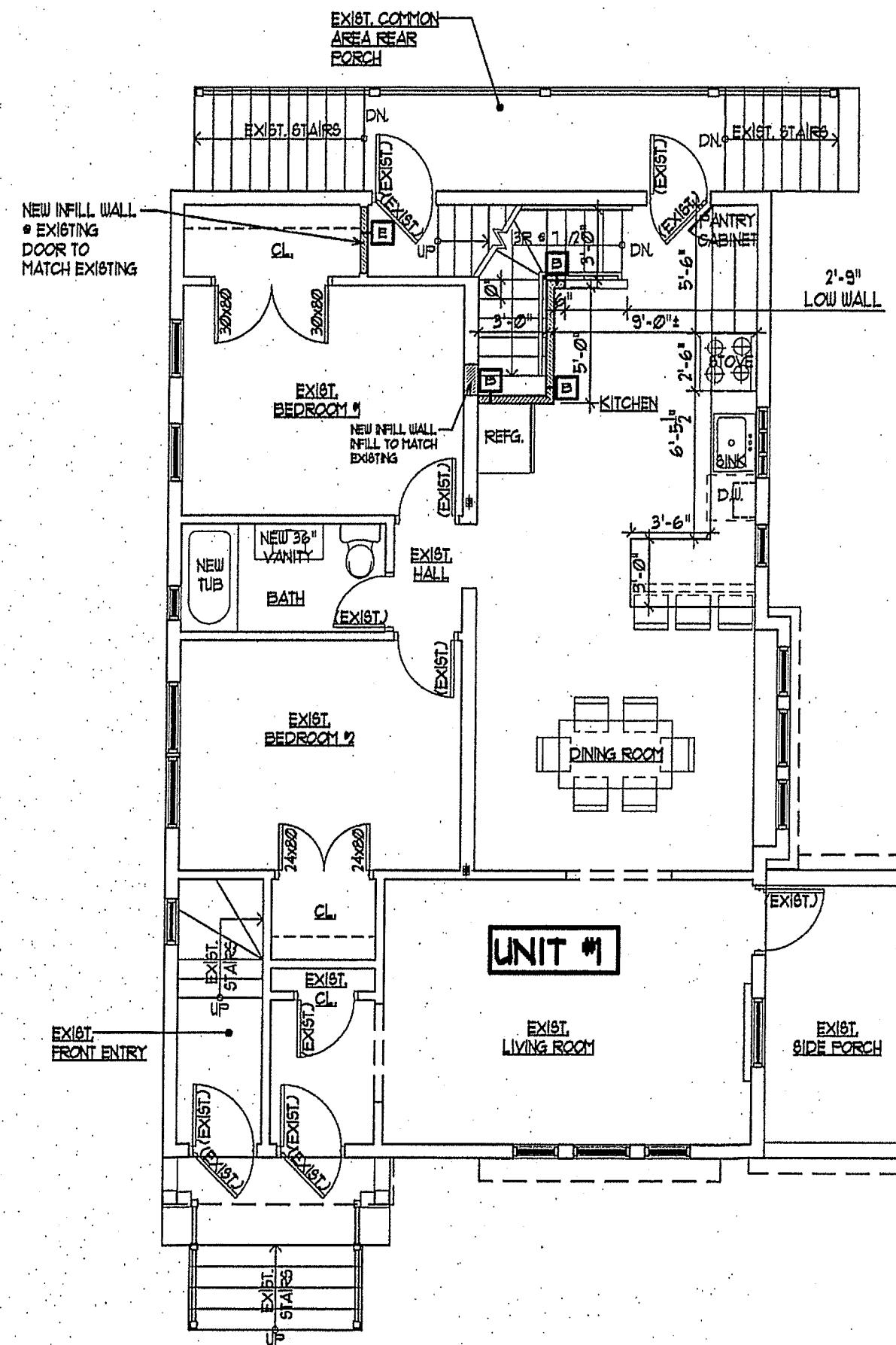
LIFE SAFETY LEGEND

- S SMOKE DETECTOR
- S/CO COMBO SMOKE AND CARBON MONOXIDE DETECTOR

FIRST FLOOR PLAN: 999± NET SQ. FT.

GRAPHIC SCALE:

0 5' 10' 15' 25'



GENERAL NOTES:

1. TYPICAL INTERIOR WALLS SHALL BE 2"X4" WOOD STUD @16" O.C. WITH $\frac{1}{2}$ " GYPSUM WALL BOARD, UNLESS OTHERWISE NOTED.
2. DIMENSIONS SHOWN ARE TO THE FACE OF STUD, UNLESS OTHERWISE NOTED.

LEGEND:

A	■■■■■	EXTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " GWB, $\frac{1}{4}$ " CDX PLT, AND SIDING
B	■■■■■	INTERIOR WALL: 2"X4" @16" O.C. W/ $\frac{1}{2}$ " GWB, ON BOTH SIDES
C	■■■■■	INTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " GWB, ON BOTH SIDES
D	■■■■■	INTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " GWB, ON ONE SIDE
E	■■■■■	INTERIOR WALL: 2"X4" @16" O.C. W/ $\frac{1}{2}$ " GWB, ON ONE SIDE
	■■■■■	EXISTING WALLS

LIFE SAFETY LEGEND

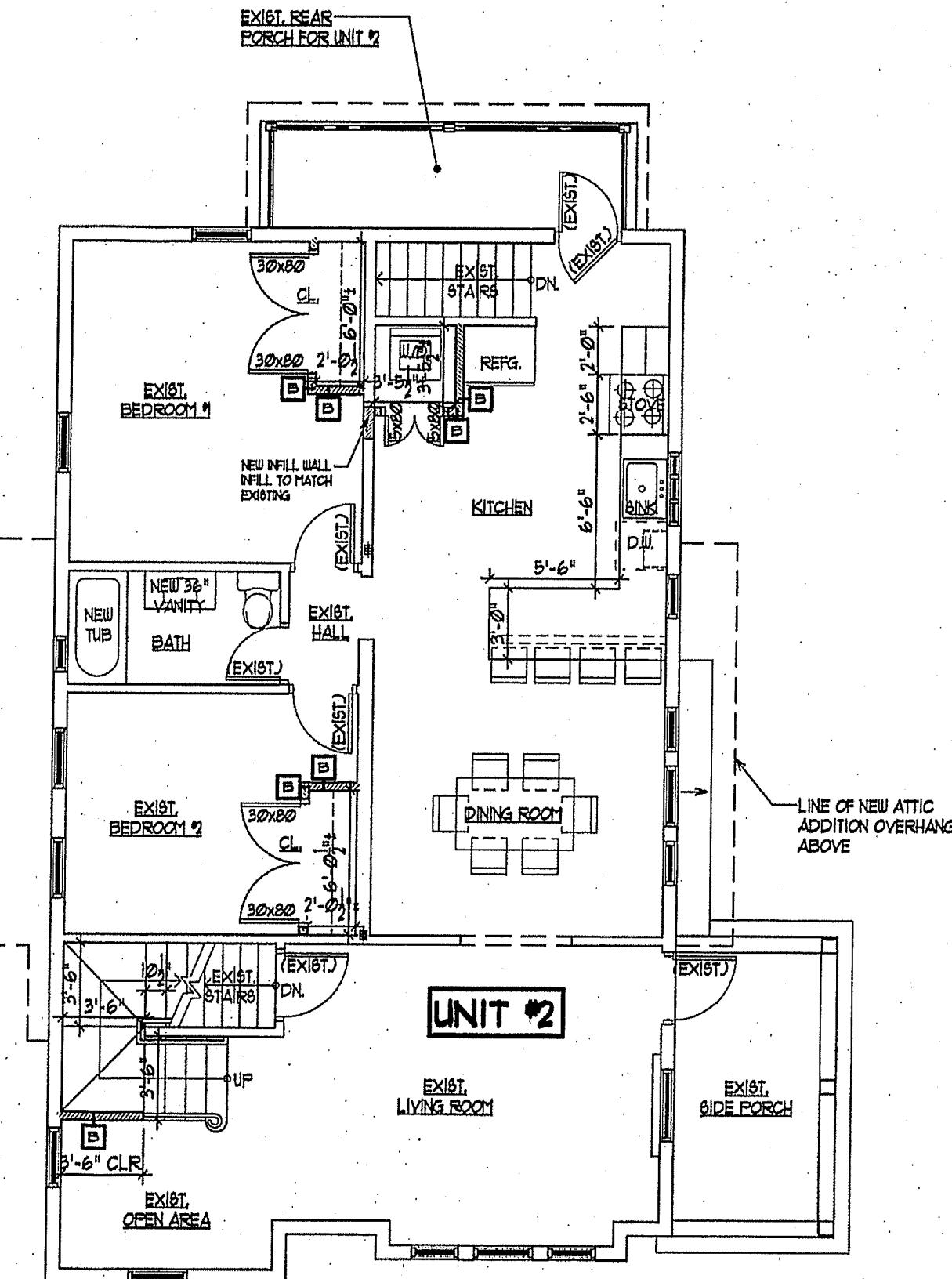
- 9 SMOKE DETECTOR
- S/CO COMBO SMOKE AND CARBON MONOXIDE DETECTOR

SECOND FLOOR PLAN: 1,046± NET SQ. FT.

GRAPHIC SCALE:

0 5 10 15

251



GENERAL NOTES:

1. TYPICAL INTERIOR WALLS SHALL BE 2"X4" WOOD STUD @16" O.C. WITH $\frac{1}{2}$ " GYPSUM WALL BOARD, UNLESS OTHERWISE NOTED.
2. DIMENSIONS SHOWN ARE TO THE FACE OF STUD, UNLESS OTHERWISE NOTED.

LEGEND:

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B	INTERIOR WALL: 2"X4" @16" O.C. W/ $\frac{1}{2}$ " G.I.W.B. ON BOTH SIDES
C	INTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " G.I.W.B. ON BOTH SIDES
D	INTERIOR WALL: 2"X6" @16" O.C. W/ $\frac{1}{2}$ " G.I.W.B. ON ONE SIDE
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EXISTING WALLS

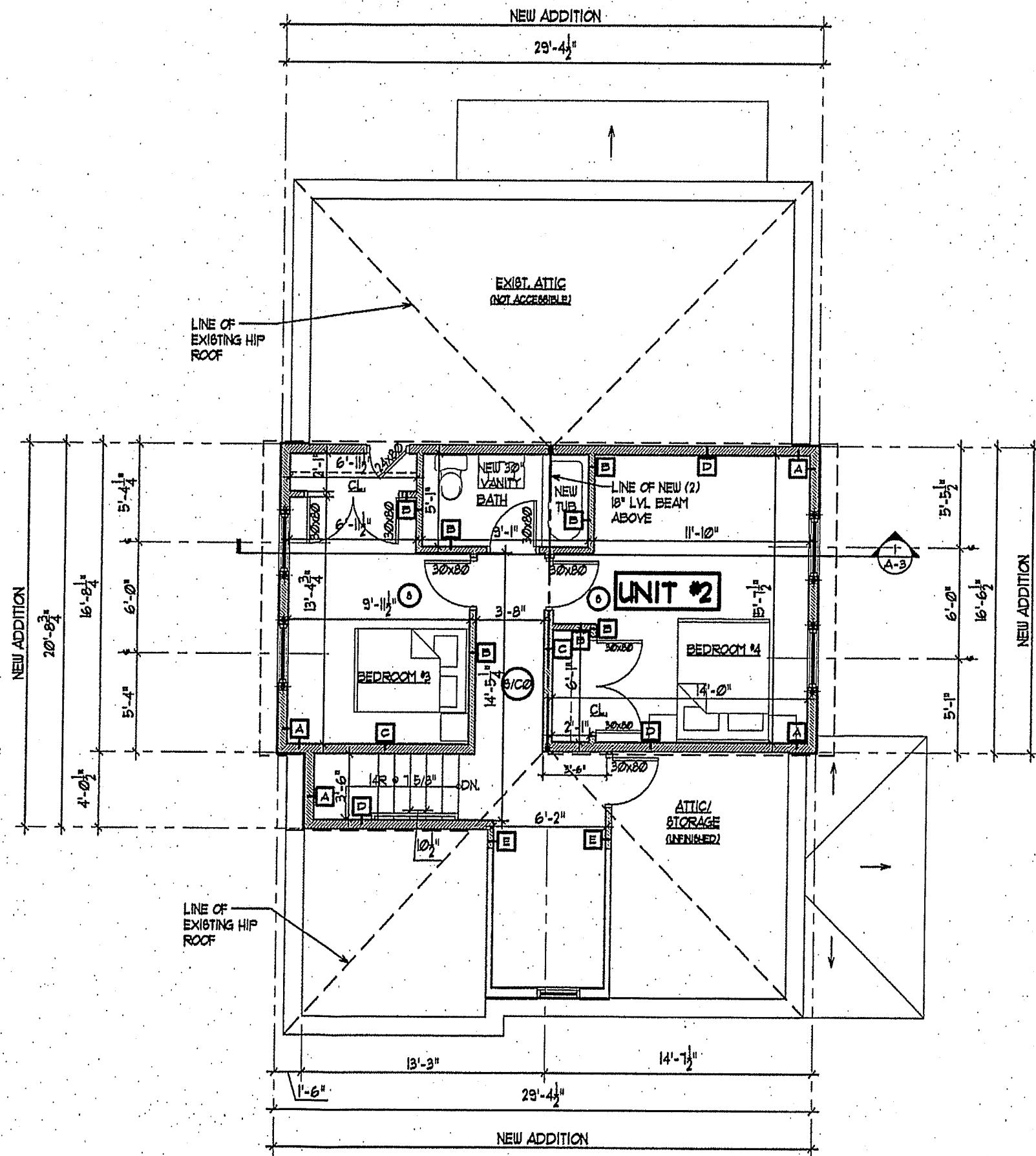
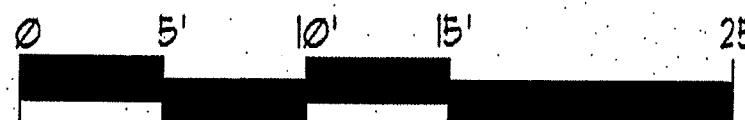
LIFE SAFETY LEGEND

- S SMOKE DETECTOR
- S/CO COMBO SMOKE AND CARBON MONOXIDE DETECTOR

ATTIC FLOOR PLAN: 560± NET SQ. FT.

GRAPHIC SCALE:

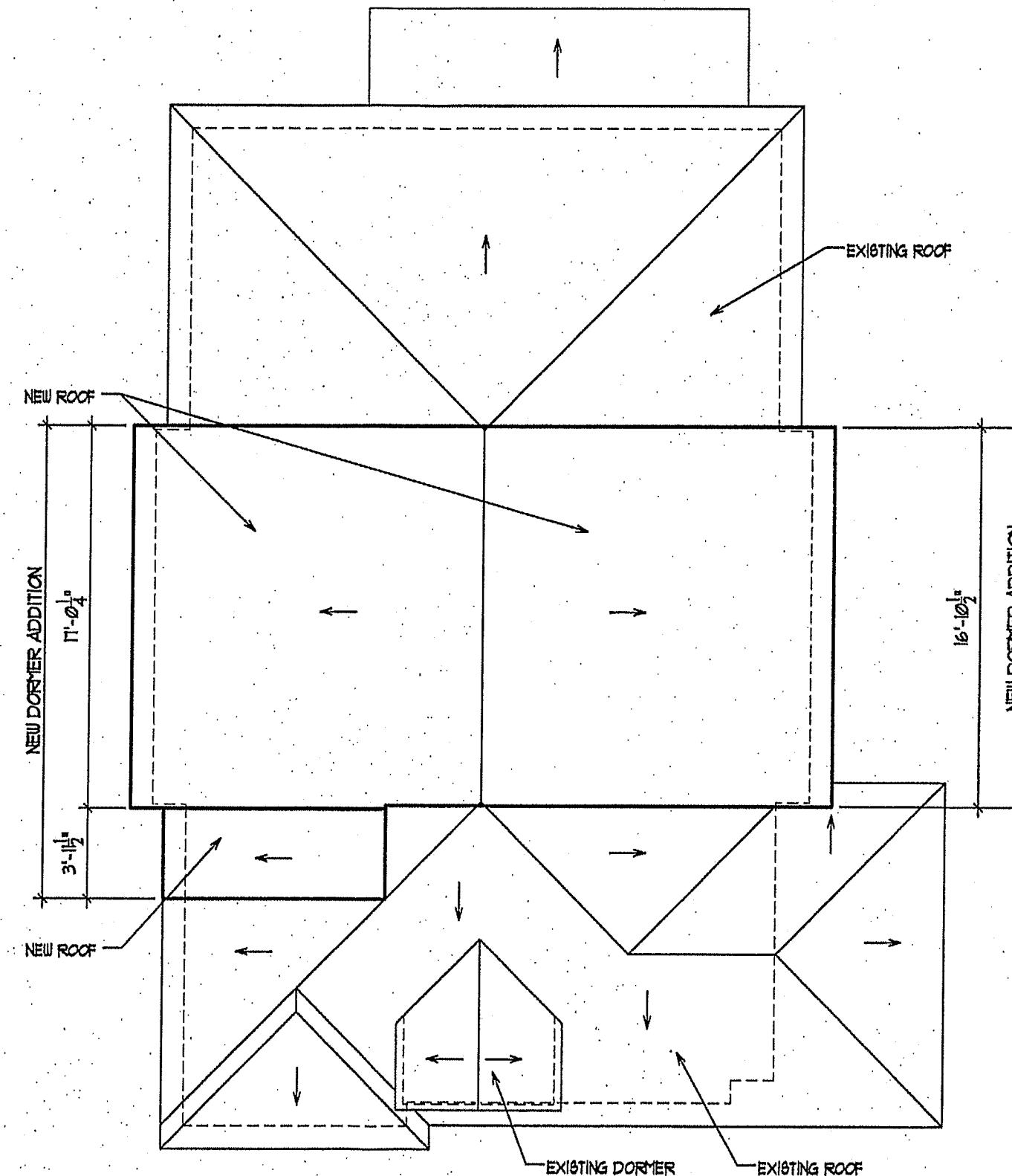
∅ 5' |∅| |5'| 2#

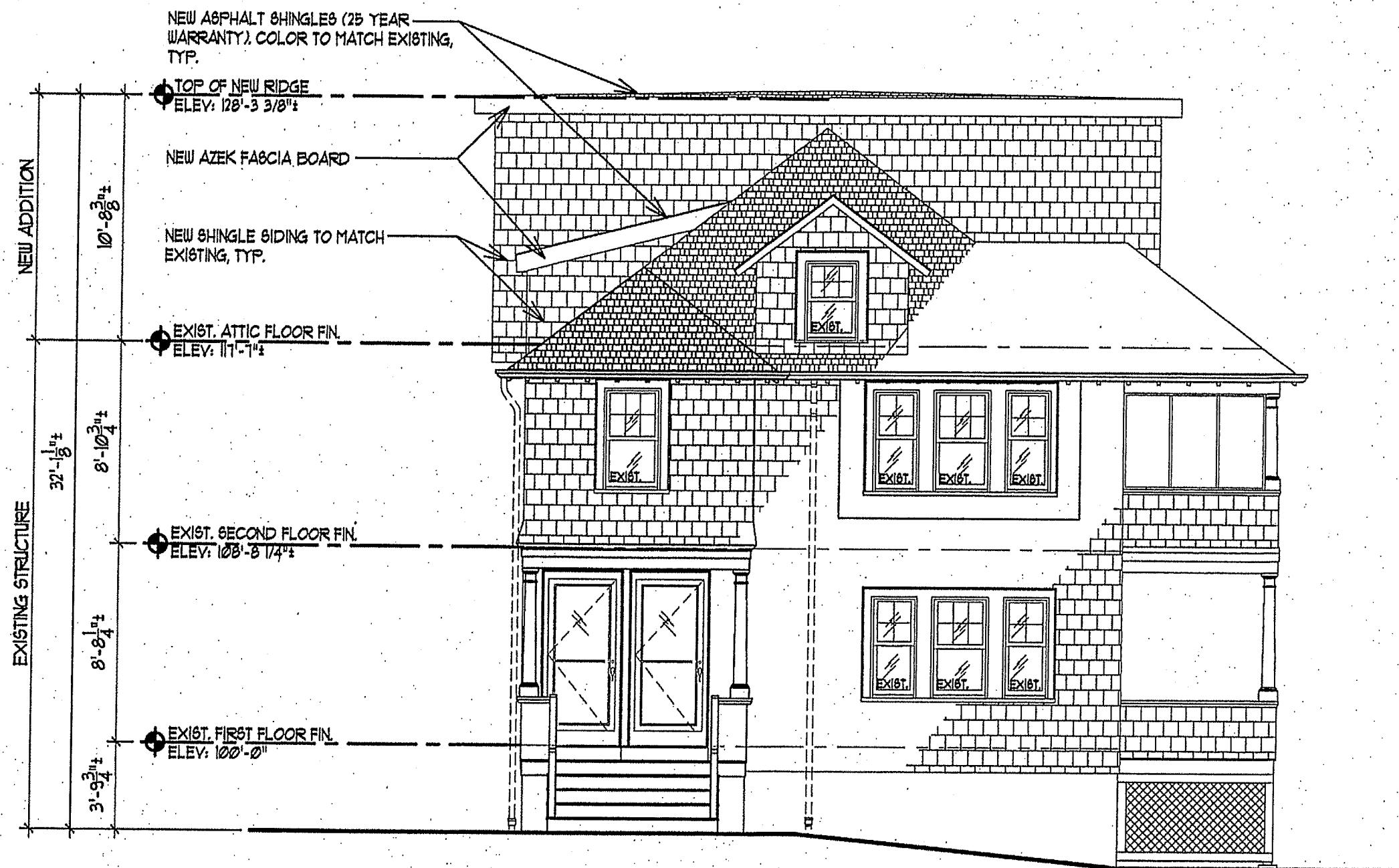


ROOF PLAN

GRAPHIC SCALE:

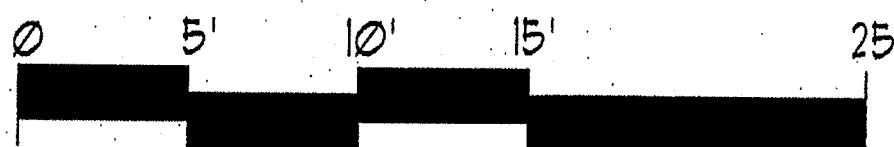
0' 5' 10' 15' 2





WEST ELEVATION:

GRAPHIC SCALE:



WEST ELEVATION:

1/8" = 1'-0"

FRONT ELEVATION

#	REVISIONS	DATE

M.J. TAVARES
ARCHITECTS

200 Broadway Suite 104 Lynnfield, MA 01940
Phone: 781-595-8400 Fax: 781-595-8300
Email: mtavares@verizon.net

REGISTERED ARCHITECT
MANUEL J. TAVARES
No. 8966
Boston
MA
COMMONWEALTH OF MASSACHUSETTS

PREPARED FOR:
MR BRANDON WOOLKALIS

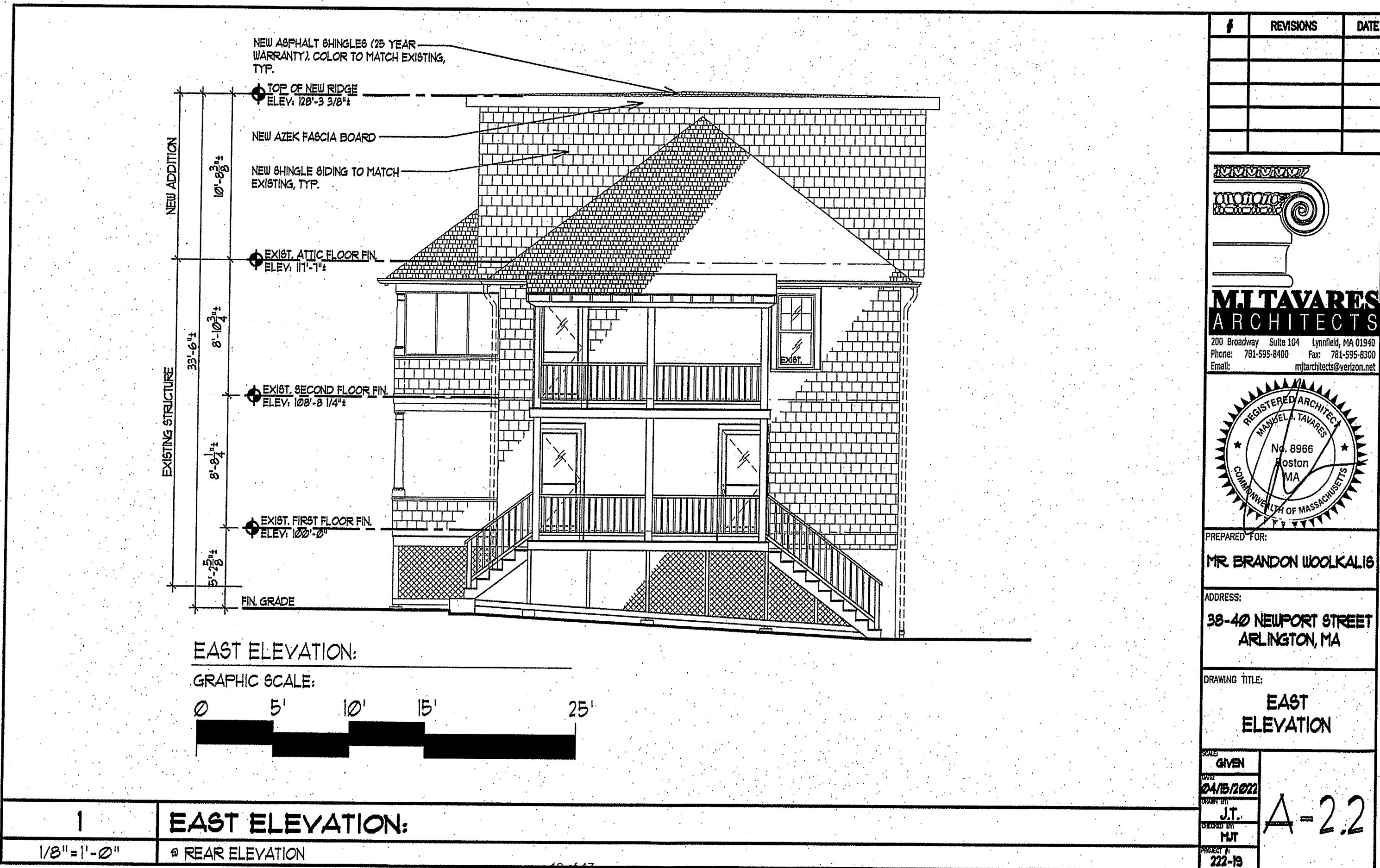
ADDRESS:
**38-40 NEWPORT STREET
ARLINGTON, MA**

DRAWING TITLE:
**WEST
ELEVATION**

SCALE GIVEN	
DATE 04/15/2012	
DRAWN BY J.T.	
CHECKED BY M.J.T.	

PROJECT #
222-19

	REVISIONS		
		DATE	
NEW ADDITION			
EXISTING STRUCTURE	M.J. TAVARES ARCHITECTS 200 Broadway Suite 104 Lynnfield, MA 01940 Phone: 781-595-8400 Fax: 781-595-8300 Email: mjtarchitects@verizon.net		
PREPARED FOR: MR BRANDON WOOLKALIS ADDRESS: 38-40 NEWPORT STREET ARLINGTON, MA			
DRAWING TITLE: SOUTH ELEVATION			
<p>SCALE: Given DATE: 04/15/2011 DRAWN BY: J.T. CHECKED BY: MJT PROJECT #: 222-19</p>		A-2.1	
1	SOUTH ELEVATION:		
1/8" = 1'-0"	@ RIGHT SIDE ELEVATION		



FRONT ELEVATION:

$$1/8" = 1" - \cancel{0} "$$

REAR ELEVATION

19 of 47

NEW ASPHALT SHINGLES (25 YEAR WARRANTY), COLOR TO MATCH EXISTING, TYP.

TOP OF NEW RIDGE
ELEV: 128'-3 3/8"

NEW AZEK FASCIA BOARD

NEW SHINGLE SIDING TO MATCH EXISTING, TYP.

NEW TRIM BOARD TO MATCH EXISTING

EXIST. ATTIC FLOOR FIN.
ELEV: 111'-1 1/2"

EXIST. SECOND FLOOR FIN.
ELEV: 108'-8 1/4"

EXIST. FIRST FLOOR FIN.
ELEV: 100'-0"

NEW ADDITION

10'-8 1/4"

EXISTING STRUCTURE

35'-2 1/4"

8'-10 3/4"

8'-8 1/2"

6'-10 3/4"

NEW SHINGLE SIDING TO MATCH EXISTING, TYP.

NEW TRIM BOARD TO MATCH EXISTING

EXIST. ATTIC FLOOR FIN.
ELEV: 111'-1 1/2"

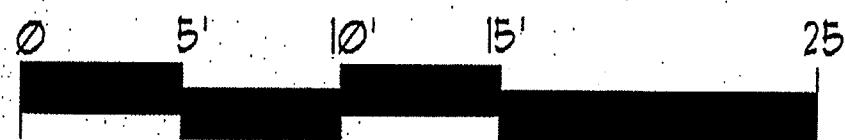
EXIST. SECOND FLOOR FIN.
ELEV: 108'-8 1/4"

EXIST. FIRST FLOOR FIN.
ELEV: 100'-0"



NORTH ELEVATION:

GRAPHIC SCALE:



1

NORTH ELEVATION:

1/8"=1'-0"

@ LEFT SIDE ELEVATION

#	REVISIONS	DATE

MIL TAVARES
ARCHITECTS

200 Broadway Suite 104 Lynnfield, MA 01940
Phone: 781-595-8400 Fax: 781-595-8300
Email: mjarchitects@verizon.net

REGISTERED ARCHITECT
MANUEL J. TAVARES
No. 8966
Boston
MA
COMMONWEALTH OF MASSACHUSETTS

PREPARED FOR:
MR BRANDON WOOLKALIS

ADDRESS:
**38-40 NEWPORT STREET
ARLINGTON, MA**

DRAWING TITLE:
**NORTH
ELEVATION**

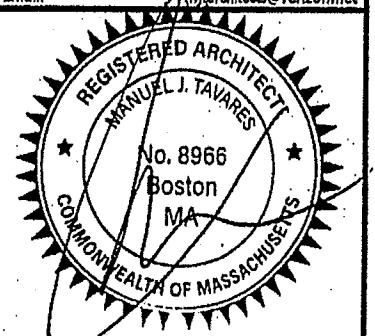
SCALE	GIVEN
DATE	
24/3/2022	DRAWN BY
	J.T.
	checked by
	MJT
PROJECT #	A-23
222-19	

A-23



MILTAVARES ARCHITECTS

200 Broadway Suite 104 Lynnfield, MA 01940
Phone: 781-595-8400 Fax: 781-595-8300
Email: 2marchitects@verizon.net

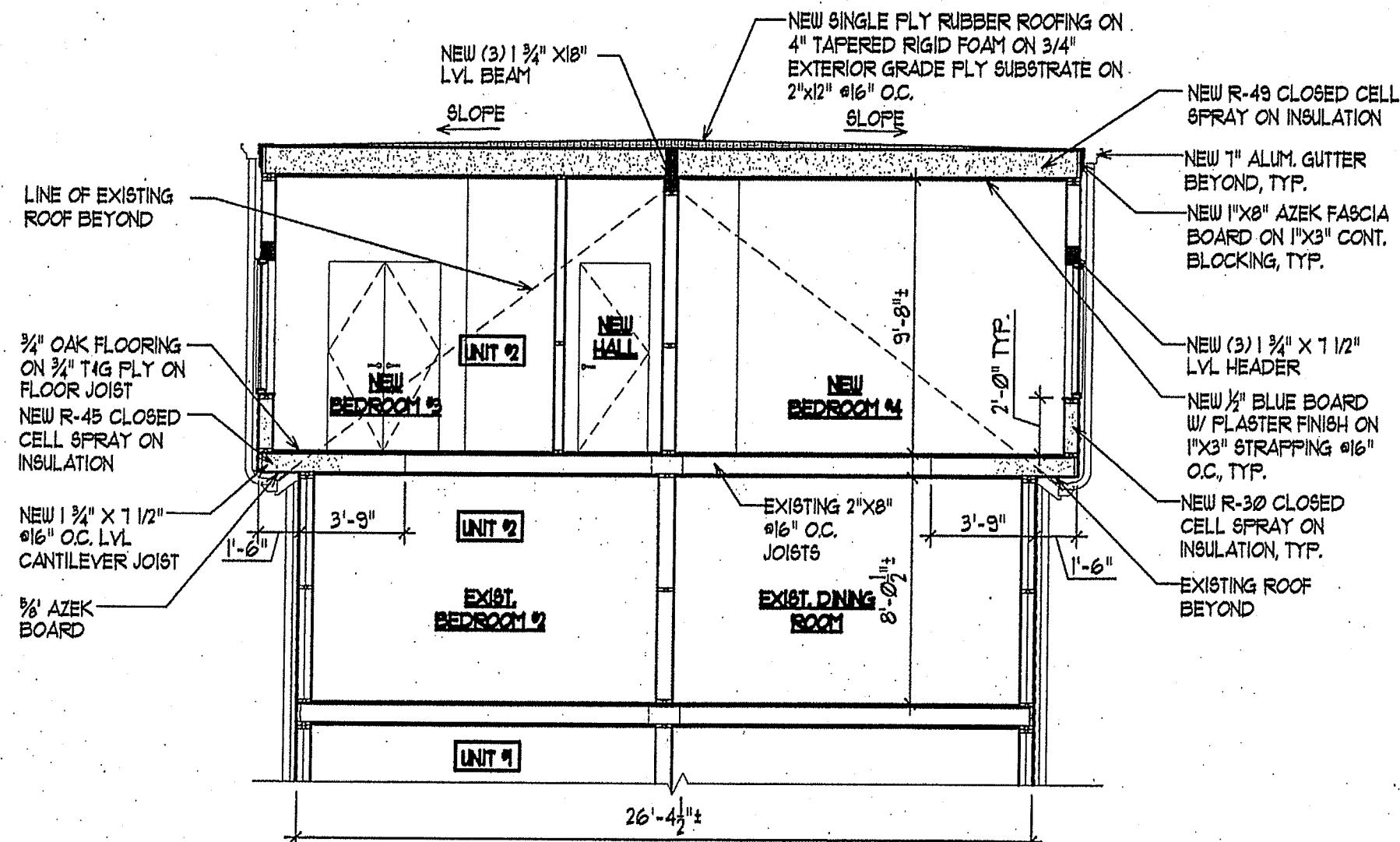


PREPARED FOR:

ADDRESS:
**38-40 NEWPORT STREET
ARLINGTON, MA**

DRAWING TITLE: PARTIAL

CODE:	GIVEN
DATE:	04/15/2022
DRAWN BY:	J.T.
CHECKED BY:	MJT
PROJECT #:	222-19



PARTIAL BUILDING SECTION

GRAPHIC SCALE:

Ø σ- Ø σ-

25

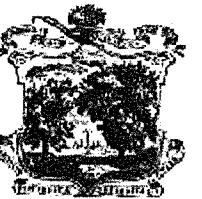


Town of Arlington, Massachusetts

Docket # 3699 : 68 Brantwood Road

ATTACHMENTS:

Type	File Name	Description
<input checked="" type="checkbox"/> Reference Material	ZBA_Package_68_Brantwood_Road.pdf	ZBA Package, 68 Brantwood Road



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Brantwood68 LLC** of Arlington, MA. On May 6, 2022, a petition seeking permission to alter his property located at **68 Brantwood Road- Block Plan 136.0-0002-0008.0** Said petition would require a Special Permit under **Section 5.4.2B(6) Districts and Uses** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening June 14, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard.** To join the meeting, please register using the following URL:
<https://town-arlington-ma-us.zoom.us/meeting/register/tZ0udu6hrz4iEtcR6s2r9eZiaorRAsgbMh>

For documentation relating to this petition, visit the ZBA website at www.arlingtonma.gov/zba.

DOCKET NO 3699

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: ZBA@town.arlington.ma.us

REQUEST FOR SPECIAL PERMIT TOWN CLERK'S OFFICE
ARLINGTON, MA 02174

TOWN OF ARLINGTON

2022 MAY -6 AM 9:10

In the matter of the Application of **Braantwood68 LLC**

to the Zoning Board of Appeals for the Town of Arlington:

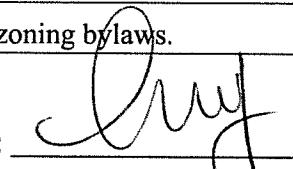
RECEIVED

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

large addition bylaw, addition will add more than 750 sq ft

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at
68 Brantwood rd with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

This is my childhood home that my wife and I recently acquired. It is in need of updating and modern
Currently there is a two story porch and deck on top (14' x 22'), we would like to replace with a two
two story addition and garage under (26' x 26') an increase to the footprint of 368' sq ft. we are adding
a small entry also. This request meets all other zoning bylaws.

E-Mail: ptax@comcast.net Signed:  Date: 04/22/2022
Telephone: 781-640-2942 Address: 68 Brantwood rd

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

5.4.2

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

The benefit is that we same an existing structure from a teardown and allow a modest increase in the cu
current structure.

C). Explain why the *requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The curb cut will not change and the use and traffic volume will not change.

D). Explain why the *requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The use will not change the use or demand on the infrastructure in a negative way.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

I do not believe any special regulations apply to this petition.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The existing home is one of the smallest in the area. After the proposed renovations, the home will still be on the more modest end of the surrounding homes.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

This is and will remain a residential use in accordance with the bylaws.

TOWN OF ARLINGTON
 Dimensional and Parking Information
 For Applications to the Zoning Board of Appeals

1. Property Location: 68 Brantwood Rd Zoning District: r1

2. Present Use/Occupancy: single family No. of dwelling units 1

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
2534 Sq. Ft.

4. Proposed Use/Occupancy: single family No. of dwelling units 1

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
4562 Sq. Ft.

Present Conditions	Proposed Conditions	Min. or max Required by Zoning
13522	13522	min. 6000
60	60	min. 60
19	34	max.
.085	.11	max 35
13522	13522	min.
30	25	min. 25
17.5	17.5	min. 10
10	10	min. 10
146	120	min. 20
2.5	2.5	max. 2.5
32	32	max. 35
3000	3000	
1.4	.77	min. 10
6000	6000	
2.36	1.31	min.
4	4	min.
		min.
		min.
wood	wood	N/A
see plans	see plans	min.

6. Lot size (Sq. Ft.)
 7. Frontage (Ft.)
 8. Floor area ratio
 9. Lot Coverage (%)
 10. Lot Area per Dwelling Unit (Sq. Ft.)
 11. Front Yard Depth (Ft.)
 12. Left Side Yard Depth (Ft.)
 13. Right Side Yard Depth (Ft.)
 14. Rear Yard Depth (Ft.)
 15. Height (Stories)
 16. Height (Ft.)
 17. Landscaped Open Space (Sq. Ft.)
 Refer to Section 2 in the Zoning Bylaw.
 17A. Landscaped Open Space (% of GFA)
 18. Usable Open Space (Sq. Ft.)
 Refer to Section 2 in the Zoning Bylaw.
 18A. Usable Open Space (% of GFA)
 19. Number of Parking Spaces
 20. Parking area setbacks (if applicable)
 21. Number of Loading Spaces (if applicable)
 22. Type of construction
 23. Slope of proposed roof(s) (in. per ft.)

TOWN OF ARLINGTON
 Open Space / Gross Floor Area Information
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 68 Brantwood Rd Zoning District: r1

<u>OPEN SPACE*</u>	EXISTING	PROPOSED
Total lot area	<u>13522</u>	<u>13522</u>
Open Space, Usable	<u>6000</u>	<u>6000</u>
Open Space, Landscaped	<u>3000</u>	<u>3000</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA)†

Accessory Building	_____	_____
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>800</u>	<u>1476</u>
1 st Floor	<u>850</u>	<u>1526</u>
2 nd Floor	<u>884</u>	<u>1560</u>
3 rd Floor	_____	_____
4 th Floor	_____	_____
5 th Floor	_____	_____
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	_____	_____
Parking garages (except as used for accessory parking or off-street loading purposes)	_____	_____
All weather habitable porches and balconies	_____	_____
Total Gross Floor Area (GFA)	<u>2534</u>	<u>4562</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)	<u>3000</u>	<u>3000</u>
Landscaped Open Space (% of GFA)	<u>1.4</u>	<u>.77</u>
Usable Open Space (Sq. Ft.)	<u>6000</u>	<u>6000</u>
Usable Open Space (% of GFA)	<u>2.36</u>	<u>1.31</u>

This worksheet applies to plans dated 4/10/22 designed by Lincoln Architects LLC

Reviewed with Building Inspector: _____ Date: _____

ADDITIONS & RENOVATIONS

68 Brantwood Road
Arlington, MA 02476-8004

ISSUED FOR PERMIT
April 13, 2022



LOCUS PLAN

LINCOLN ARCHITECTS LLC
1 Mount Vernon Street, Suite 203
Winchester, MA 01890
781.721.7721

BMC ENGINEERING LLC
50 S Audobon Road
Wakefield, MA 01880
978.774.1884



DRAWING LIST

ARCHITECTURAL

SITE SURVEY

- A0.1 OUTLINE SPECIFICATIONS - DOOR & WINDOW TYPES
- A1.1 FLOOR PLAN/SITE DIAGRAM - LOWER LEVEL
- A1.2 FLOOR PLAN - MAIN LEVEL
- A1.3 FLOOR PLAN UPPER LEVEL
- A3.1 BUILDING ELEVATIONS
- A3.2 BUILDING ELEVATIONS
- A4.1 BUILDING SECTIONS
- A5.2 WALL SECTIONS

STRUCTURAL

- S0.1 GENERAL NOTES
- S0.2 TYPICAL DETAILS
- S0.3 TYPICAL DETAILS
- S1.0 FOUNDATION PLAN
- S1.1 MAIN LEVEL FRAMING PLAN
- S1.2 UPPER LEVEL FRAMING PLAN
- S1.3 ATTIC FRAMING PLAN
- S1.4 ROOF FRAMING PLAN
- S2.1 DETAILS

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF MARCH 26, 2022 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
ZONE: X
COMMUNITY PANEL: 25017C0416E
EFFECTIVE DATE: 06-04-2010

GEORGE C. COLLINS, P.L.S.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313

SITE PLAN OF LAND

SHOWING PROPOSED CONDITIONS
LOCATED AT

68 BRANTWOOD ROAD
ARLINGTON, MA

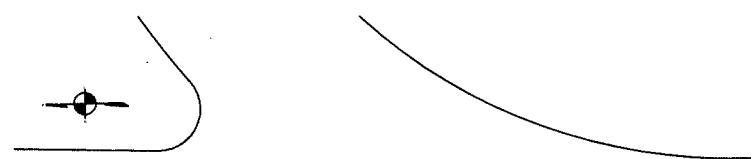
DATE: APRIL 12, 2022 SCALE: 1.0 INCH = 10.0 FEET



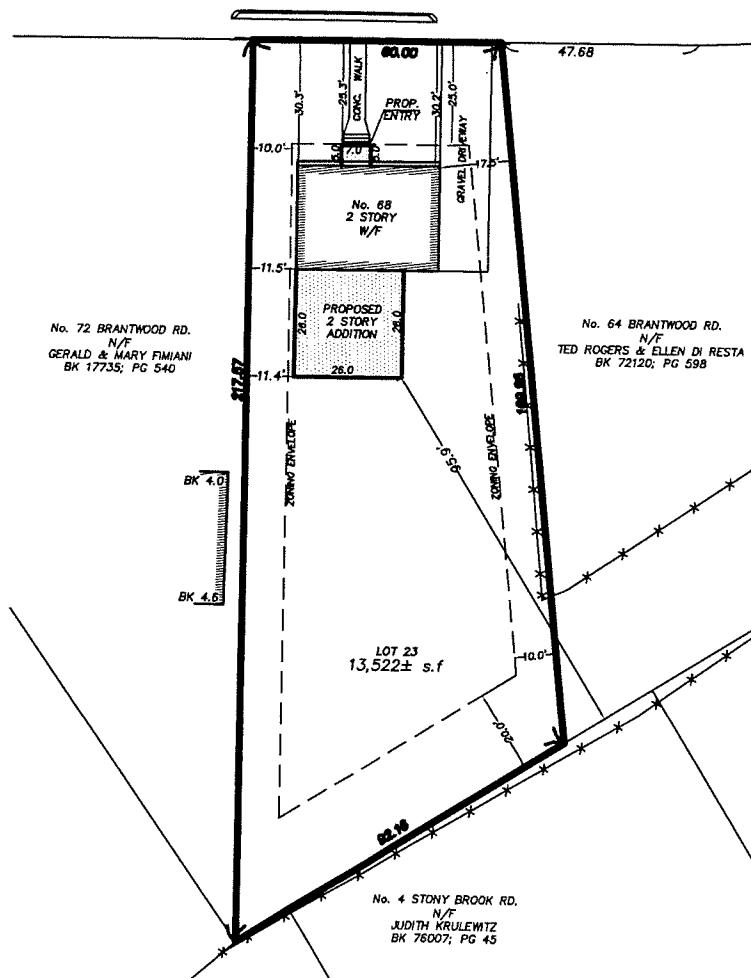
PREPARED FOR:
JIM DOHERTY
68 BRANTWOOD RD.
ARLINGTON, MA

DEED: BK 10972; PG 208
PLAN: PL BK 93; PG 2
PL No. 720 1F 1935
PL No. 377 OF 1936
PL No. 2020 OF 1950

NOTES:
PARCEL ID: 136.0 0002 0008.0
ZONING: R1



BRANTWOOD (40' WIDE PUBLIC WAY) ROAD



ZONING TABLE:		REQUIRED	PROPOSED
DISTRICT:	R1		
LOT AREA:	6,000 s.f.	13,522 s.f.	
LOT FRONTAGE:	60'	60'	
FRONT SETBACK:	25'	25.3'	
SIDE SETBACK:	10'	11.4'	
REAR SETBACK:	20'	95.9'	
LANDSCAPE SPACE:	10%	10%	
OPEN SPACE:	30%	17.5%	
LOT COVERAGE:	35%	12%	
MAX. HEIGHT:	35'	...	
MAX. STORIES:	2.5	2	

FIELD: JIH
DRAFT: JIH
CHECK: GCC
DATE: 04/12/22





LINCOLN
Architects LLC

One Mount Vernon Street, Suite 203
Winchester, Massachusetts 01890
T: 781.721.7721
F: 781.721.0065
www.inecfd.com

Consultants

NOTE:
ALL GRADES INDICATED ON THIS PLEASE
TAKEN FROM G.I.S. VERIFY ALL GRADING
CONDITIONS PRIOR TO STARTING THE WORK

CRAWL SPACE V
EACH SIDE

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Revisions **ISSUED FOR PERMIT**

ISSUED FOR PERMIT

ISSUED FOR PERMIT

ADDITIONS & RENOVATIONS
TO THE DORHERTY RESIDENCE
68 BRANTWOOD ROAD
ARLINGTON MA,



FLOOR PLAN LOWER LEVEL

Project Number
021.072

Drawing Scale
" = 150'

Drawn By
Mc

Checked By
Mc

Date Issued
4/13/22

A1.1

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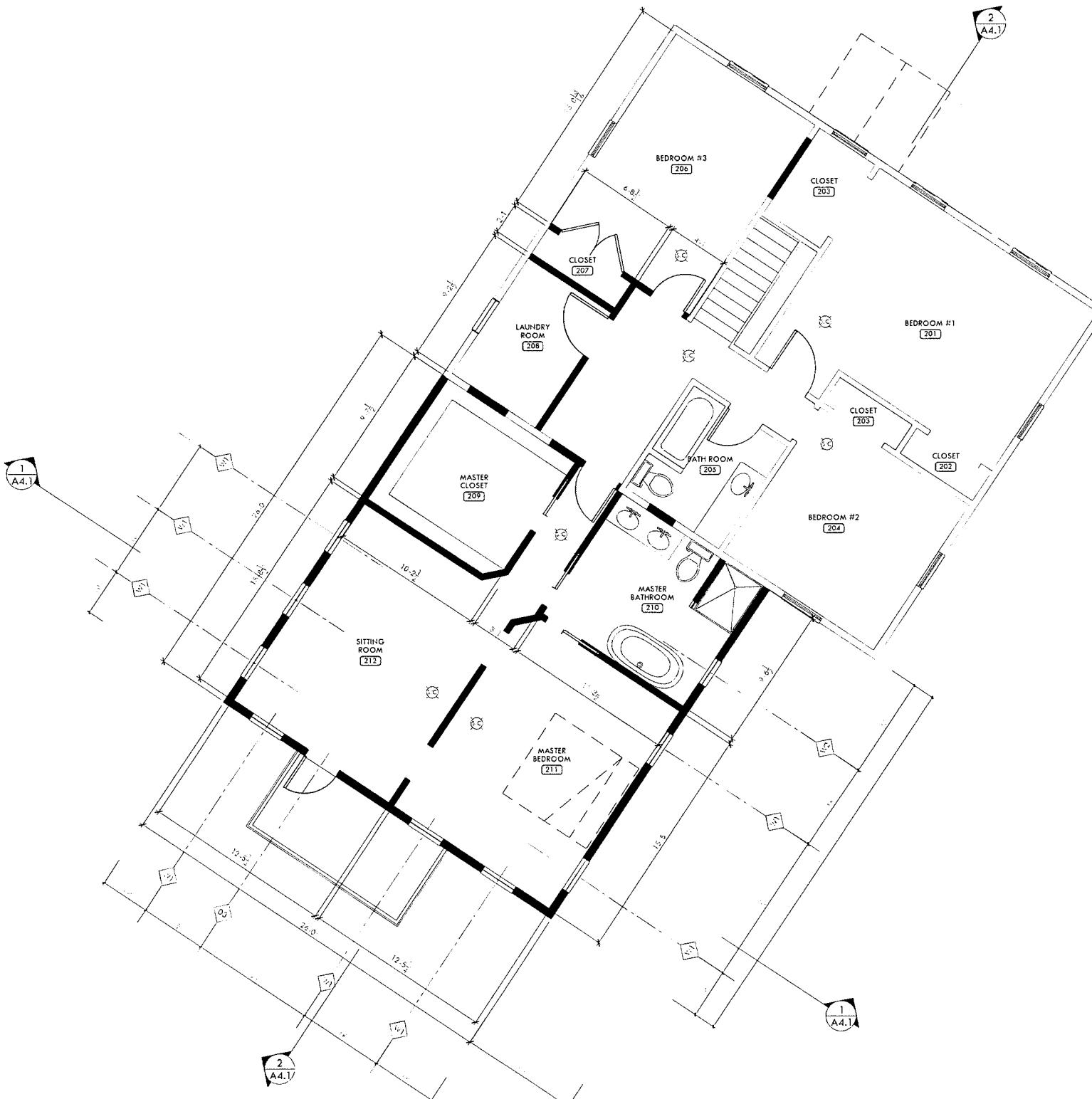
ADDITIONS & RENOVATIONS
TO THE DORHERTY RESIDENCE
68 BRANTWOOD ROAD
ARLINGTON MA,



**FLOOR PLAN
UPPER LEVEL**

Project Number
2021.072
Drawing Scale
1/4" = 1'-0"
Drawn By
GMC
Checked By
GMC
Date Issued
04/13/22

A1.3





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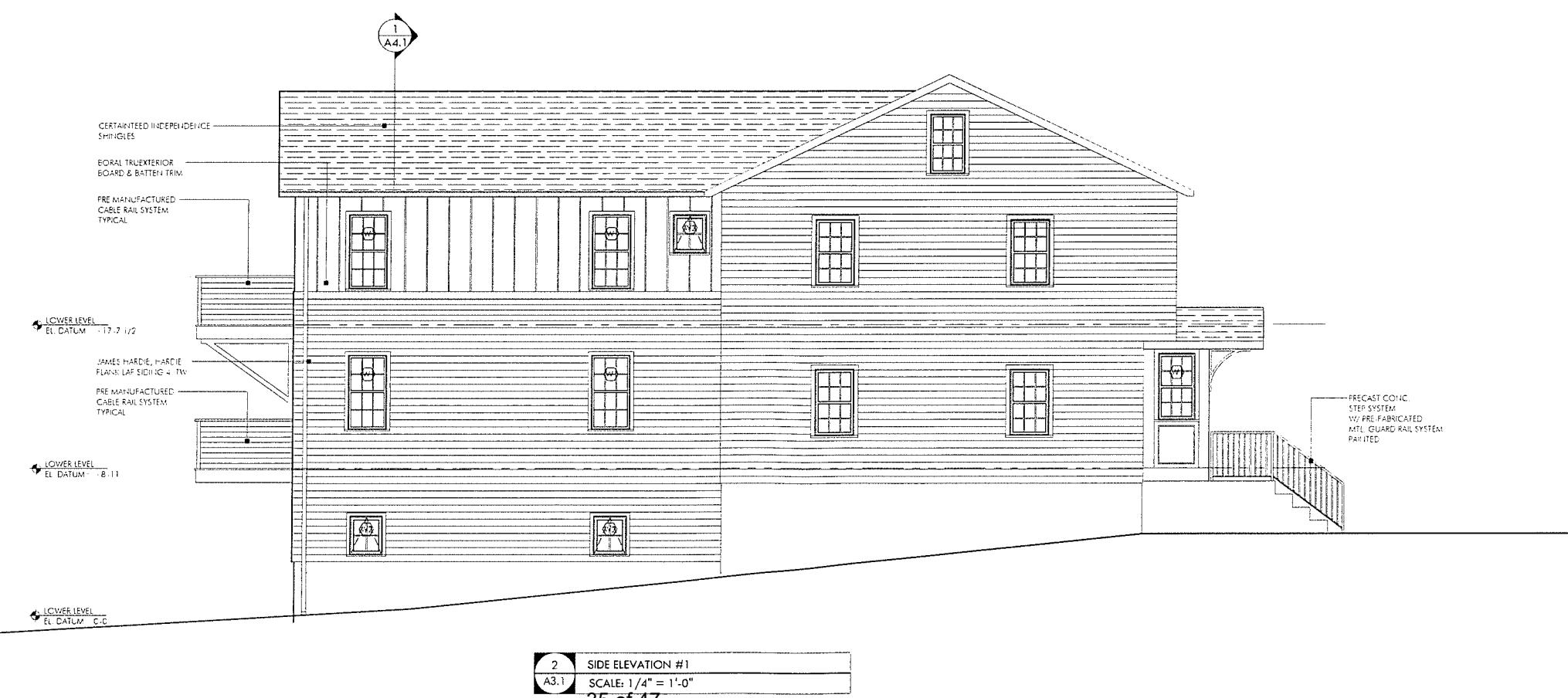
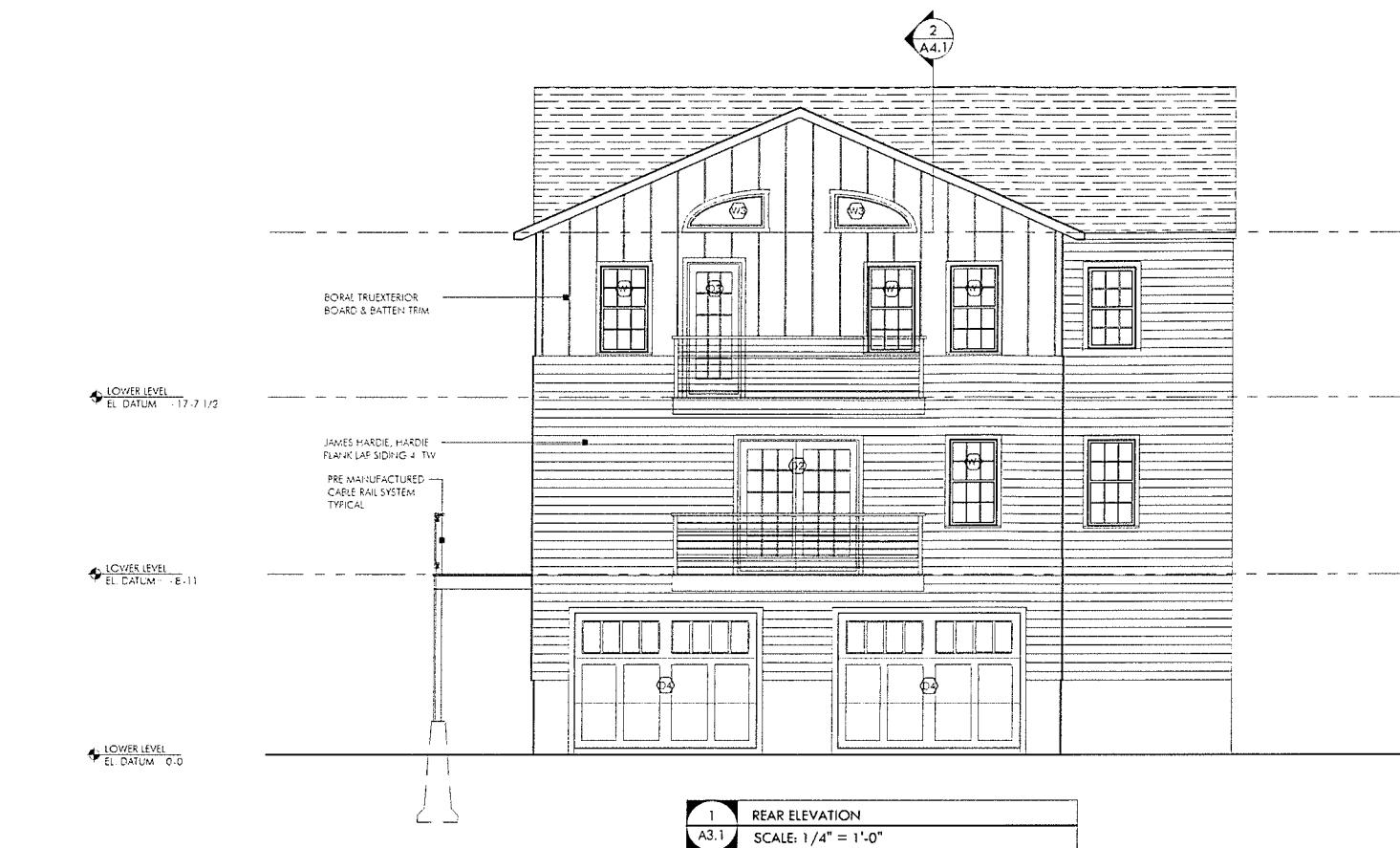
ADDITIONS & RENOVATIONS
TO THE DORHERTY RESIDENCE
8 BRANTWOOD ROAD
ARLINGTON MA,



BUILDING ELEVATIONS

Object Number
021.072
Drawing Scale
4" = 1'-0"
Drawn By
Mc
Checked By
Mc
Date Issued
1/13/22

A3.1



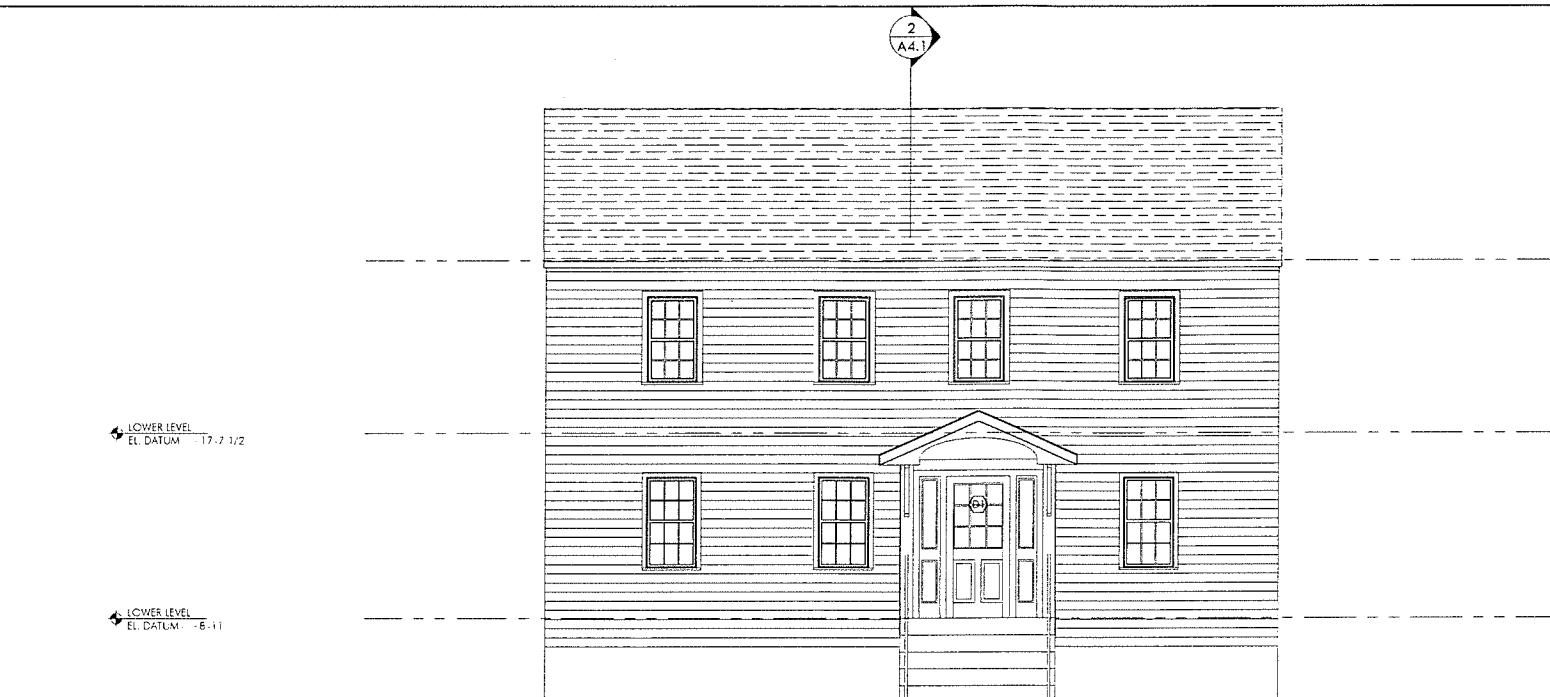


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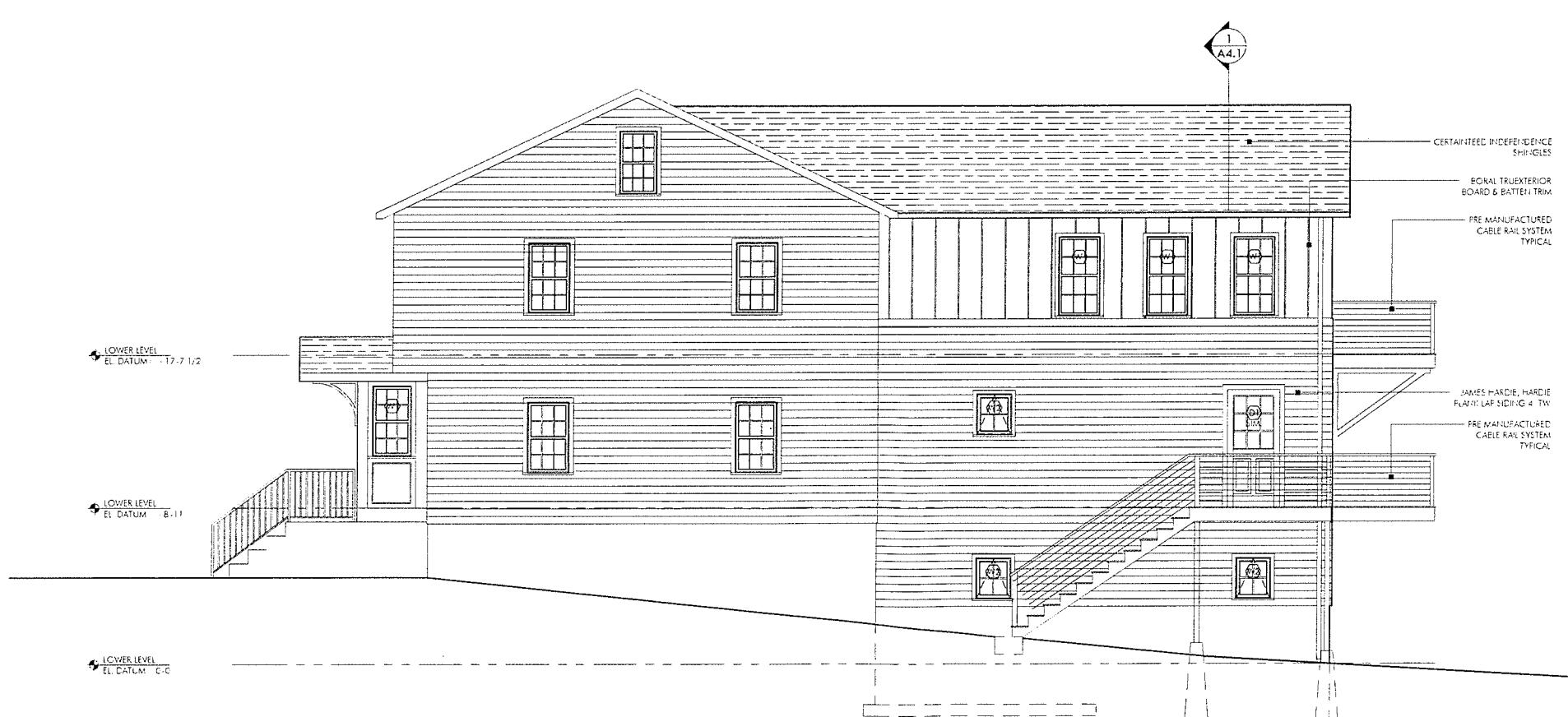
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1 FRONT ELEVATION
A3.2 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION #2
A3.2 SCALE: 1/4" = 1'-0"

ADDITIONS & RENOVATIONS
TO THE DORHERTY RESIDENCE
68 BRANTWOOD ROAD
ARLINGTON MA,



BUILDING ELEVATIONS

Project Number
2021.072
Drawing Scale
1/4" = 1'-0"
Drawn By
GMc
Checked By
GMc
Date Issued
04/13/22

A3.2

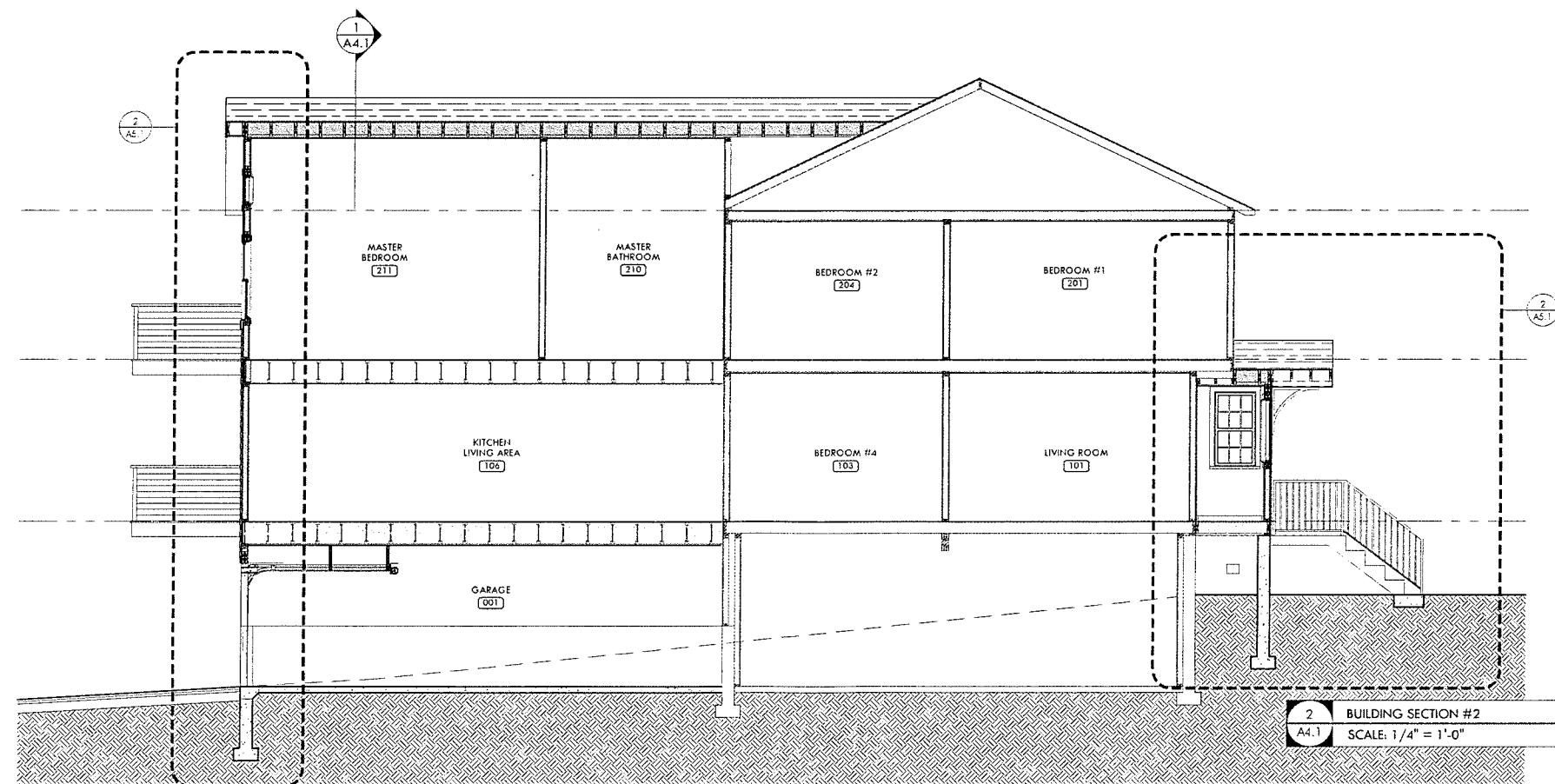
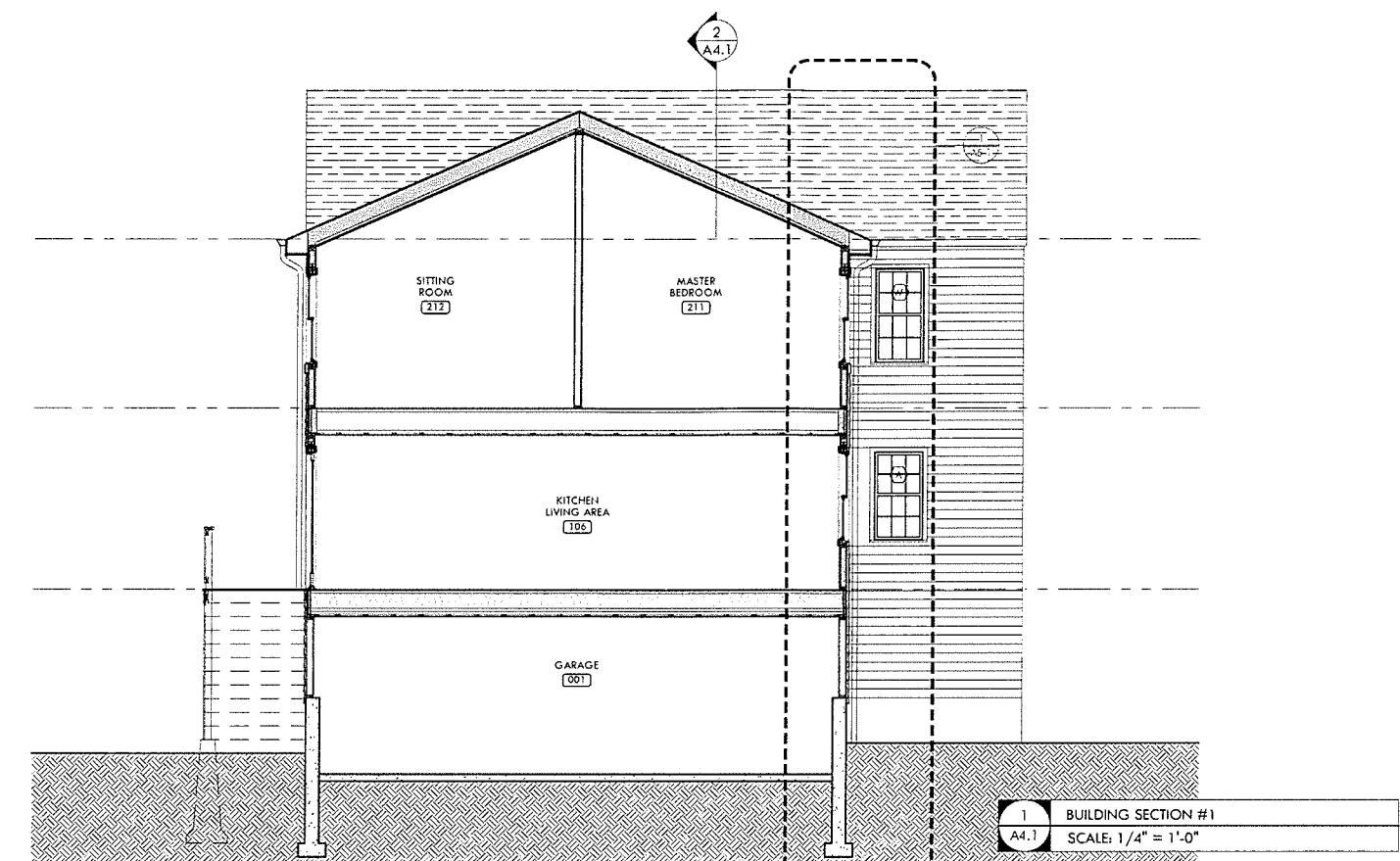


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Revisions ISSUED FOR PERMIT



BUILDING SECTIONS

Project Number
2021.072
Drawing Scale
1/4" = 1'-0"
Drawn By
GMc
Checked By
GMc
Date Issued
04/13/22

A4.1



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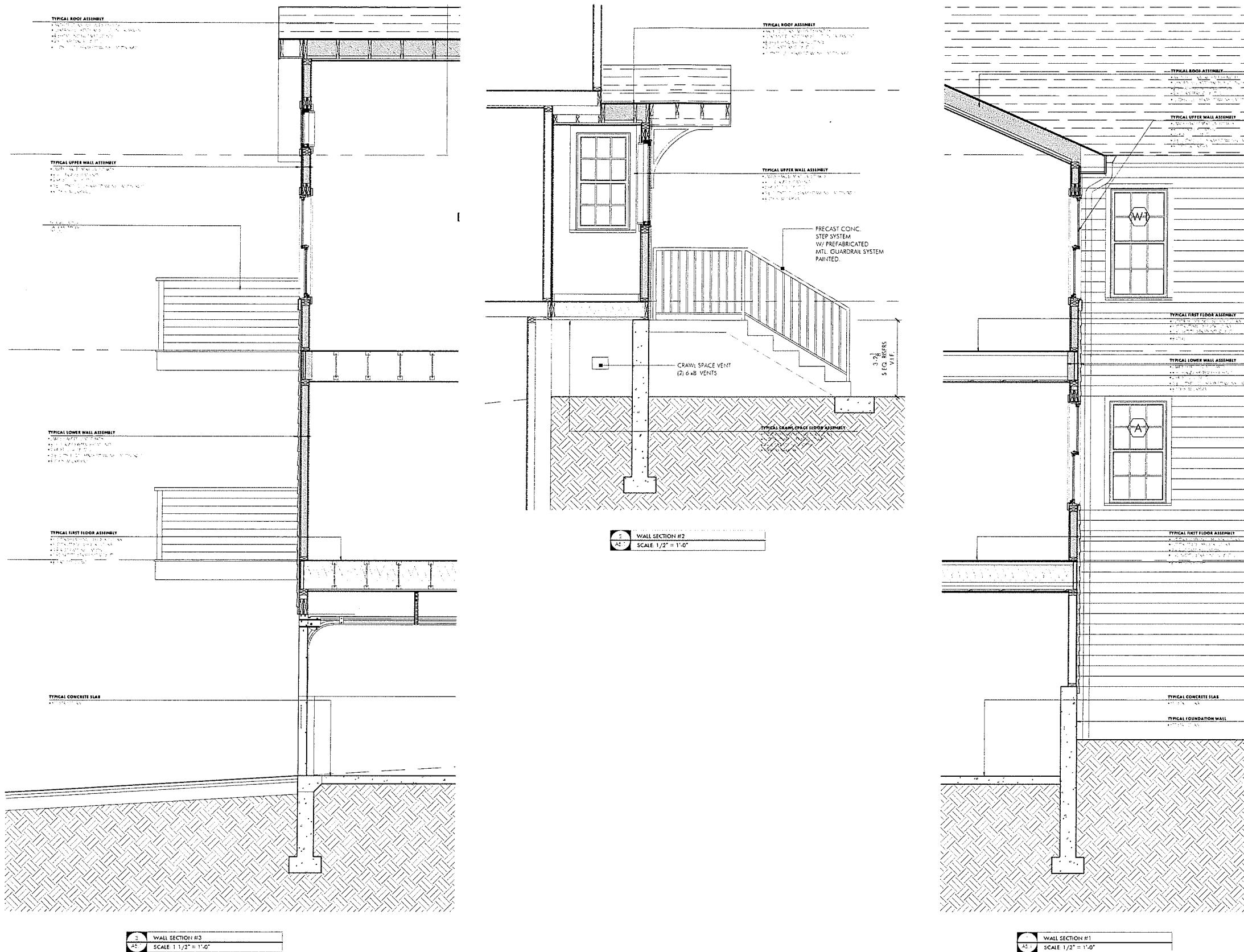
ADDITIONS & RENOVATIONS
TO THE DORHERTY RESIDENCE
38 BRANTWOOD ROAD
ARLINGTON MA,



WALL SECTIONS

Object Number
021.072
Drawing Scale
1/4" = 1'-0"
Owner E.S.
Mc
Drawing E.S.
Mc
Date Issued
1/13/22

A5.1



GENERAL

- Structural work shall conform to the requirements of "The Commonwealth of Massachusetts State Building Code", 9th Edition, "The International Building Code" (IBC 2015), "The International Residential Code" (IRC 2015) and ASCE 7-10.
- Examine architectural, mechanical, plumbing and electrical drawings for verification of location and dimensions of chases, inserts, openings, sleeves, washes, drops, reveals, depressions and other project requirements not shown on structural drawings.
- Verify and coordinate dimensions related to this project.
- Openings in slabs and walls less than 12" maximum dimension are generally not shown on the structural drawings and shall not be revised without prior written approval of the engineer.
- Typical details and notes shown on structural drawings shall be applicable to all parts of the structural work except where specifically required otherwise by contract documents.
- Details not specifically shown shall be similar to those shown for the most nearly similar condition as determined by the engineer.
- The contractor shall submit complete shop drawings for all parts of the work, including description of demolition and construction methods and sequencing where applicable. No performance of the work including, but not limited to, demolition and construction methods and sequencing where applicable, demolition of existing structure or fabrication or erection of new structural elements, shall commence without review of the shop drawings by the engineer.

FOUNDATIONS

- Foundations for this project consist of spread footings, foundation walls and slab-on-grade. In the absence of a geotechnical engineering soils report, a conservative allowable bearing pressure of 1.5 tons per square foot has been assumed.
- No responsibility is assumed by the engineer for the validity of the subsurface conditions described on the drawings, specifications, test borings or test pits. These data are included only to assist the contractor during bidding and subsequent construction and represent conditions only at these specific locations at the particular time they were made.
- Foundation units shall be centered under supported structural members, unless otherwise noted on the drawings.
- Exterior construction shall be carried down below finished exterior grade to a minimum depth of 4'-0", unless noted otherwise.
- Provide temporary or permanent supports, whether shoring, sheeting or bracing, so that no horizontal movement or vertical settlement occurs to existing structures, streets or utilities adjacent to the project site.
- Carry out continuous control of surface and subsurface water during construction such that foundation work is done in dry and on undisturbed subgrade material, as applicable.
- Bottom 3 inches of excavations for footings shall be finished by hand shovel.
- Backfill under any portion of the structure shall be compacted in 6" lifts per specifications requirements.
- No foundation concrete shall be placed in water or on frozen subgrade material.
- Protect in-place foundations and slabs from frost penetration until the project is completed.
- Do not backfill behind foundation walls until permanent lateral structural support system is in place and of full strength.
- Sheeting, shoring and bracing for the lateral support of excavation shall remain in place until all permanent structural systems below ground level are complete.

CONCRETE

- Concrete work shall conform to "Building Code Requirements for Reinforced Concrete" (ACI 318-11), and "Specifications for Structural Concrete for Buildings" (ACI 301-10).
- Concrete shall be controlled concrete, proportioned, mixed and placed in the presence of a representative of an approved testing agency.
- Unless noted otherwise, concrete shall have a minimum 28 day compressive strength and be of a type as follows:

(A) Footings, tie beams, columns	4000 PSI	(Normal weight)
(B) Framed slabs, beams, walls	4000 PSI	(Normal weight)
(C) Concrete on steel deck	4000 PSI	(Normal weight)
(D) Topping slabs & housekeeping pads	3000 PSI	(Normal weight)
- Concrete to be exposed to the weather in the finished product shall be air entrained.
- Provide vapor barrier under interior slabs cast on grade.
- Construction joints shown on drawings are mandatory. Omissions, additions or changes shall not be made except with the submittal of a written request together with drawings of the proposed joint locations for approval of the architect.
- Where construction joints are not shown or when alternate joint locations are proposed, a concrete placing sequence shall be submitted to the architect for approval prior to preparation of the reinforcement shop drawings.
- Size of concrete placements, unless otherwise noted, shall be as follows:

Max. Length	Max. Area	
(Feet)	(Sq. Feet)	
(A) Footings and Walls	30'	-
(B) Slabs on grade	30'	900* place in alt. panels
(C) Concrete on steel deck	90	8100
- * Exceed only where intermediate contraction joints are provided.
- Minimum of 72 hours shall elapse between adjacent concrete placements.
- Concrete shall be placed without horizontal construction joints except where shown or noted. Vertical construction joints and stops in concrete work shall be made at midspan or at points of minimum shear.
- Concrete slabs, including concrete placed on steel deck, shall be placed so that the slab thickness is at no point less than that indicated on the drawings (This will require that the slab not be cast dead level where supporting beams, girders, or trusses have an upward camber).
- Structural steel below grade shall be encased in concrete with a minimum cover of 2".
- Concrete slabs on grade, including concrete placed on steel deck, shall be placed so that the slab thickness is at no point less than that indicated on the drawings (This will require that the slab not be cast dead level where supporting beams, girders, or trusses have an upward camber).
- Structural steel below grade shall be encased in concrete with a minimum cover of 2".

REINFORCEMENT

- Reinforcement work of detailing, fabrication and erection shall conform to "Building Code Requirements for Reinforced Concrete" (ACI 318-11), "ACI Detailing Manual - 1994" (SP-66), "ORSI Manual of Standard Practice" (MSP 1-97) and "Structural Welding Code - Reinforcing Steel" (AWS D14-92).
- Steel reinforcement, unless noted otherwise, shall conform to the following:

(A) Bars, ties and stirrups	ASTM A615 Grade 60	(Fy = 60 KSI)
(B) Welded wire fabric (WWF)	ASTM A185	
- Provide and schedule on shop drawings the necessary accessories to hold reinforcement securely in position. Minimum requirements shall be: high chairs 4'-0" O.C. with continuous #5 support bar; slab bolsters continuous and 3'-6" O.C.; beam bolsters 5'-0" O.C.
- Minimum concrete protective covering for reinforcement, unless noted otherwise, shall be as follows:

(A) Uniformed surfaces cast against and permanently in contact with earth: 3.0"	
(B) Formed surfaces in contact with earth or exposed to weather:	
#6 though #18 bars	2.0"
#5 bars, 5/8" wire and smaller	1.5"
(C) Surfaces not in contact with earth or exposed to weather - walls, slabs, joists:	
#14 and #18 bars	1.5"
#11 bars and smaller	1.0"
(D) Beams, girders and columns - principal reinforcement, ties, stirrups or spirals:	1.5"
- Where continuous reinforcement is called for, it shall be extended continuously around corners and lapped at necessary splices or hooked at discontinuous ends. Laps shall be Class B tension lap splices, unless noted otherwise.
- Where reinforcement is not shown on drawings, provide reinforcement in accordance with applicable details as determined by the architect. In no case shall reinforcement be less than the minimum reinforcement permitted by the applicable codes.
- Where reinforcement is required in section, reinforcement is considered typical wherever the section applies.
- Reinforcement shall be continuous through construction joints.
- Dowels shall match bar size and number, unless noted otherwise.
- Welded wire fabric shall lap 8" or 1-1/2" spaces, whichever is larger and shall be wired together.
- Reinforcement shall not be tack-welded.
- Installation of reinforcement shall be completed at least 24 hours prior to the scheduled concrete placement. Notify architect of completion at least 24 hours prior to the scheduled completion of the installation of reinforcement.

STRUCTURAL TIMBER CONSTRUCTION

- Timber shall conform to Part II "Design" as published in the "Timber Construction Manual" (AITC 6th Ed.) and to "National Design Specification for Wood Construction" (NFPA, 2012 Ed.).
- New lumber for structural use shall have a moisture content as specified in the "National Design Specification for Wood Construction" (NFPA, 2012 Ed.).
- Timber construction shall conform to Article 23 of IBC 2012.
- Material properties for timber shall conform to the following:

(A) For members with nominal 2" thickness, S-P-F #1/#2 or better (19% max. MC).	Allowable bending stress: Fb = 875 PSI (single member use) Fb = 1000 PSI (multiple member use) Allowable shear stress Fv = 135 PSI Compression parallel to grain = 1100 PSI Compression perpendicular to grain = 425 PSI Modulus of elasticity = 1,400,000 PSI
(B) For members with nominal 4" and greater, Douglas Fir - Select Structural (19% max. MC).	Allowable bending stress: Fb = 1,600 PSI Allowable shear stress Fv = 85 PSI Compression parallel to grain = 1100 PSI Compression perpendicular to grain = 625 PSI Modulus of elasticity = 1,600,000 PSI
(C) For pressure-treated (PT) members with nominal 2" thickness, Southern Pine #1 or better pressure-treated (19% max. MC).	Allowable bending stress: Fb = 1,300 PSI Allowable shear stress Fv = 90 PSI Compression parallel to grain = 1,550 PSI Compression perpendicular to grain = 565 PSI Modulus of elasticity = 1,500,000 PSI
(D) For pressure-treated (PT) members with nominal 4" thickness and greater, Southern Pine #2 pressure-treated (19% max. MC).	Allowable bending stress: Fb = 1,250 PSI Allowable shear stress Fv = 95 PSI Compression parallel to grain = 725 PSI Compression perpendicular to grain = 440 PSI Modulus of elasticity = 1,400,000 PSI
- "PT" indicates pressure-treated lumber (to be used when in contact with concrete, masonry or weather).
- '11 1/4" AJS 140's', etc. indicates engineered wood I-joist with machine stress rated lumber flanges and OSB webs by Boise Cascade Co. or engineer-approved equal.
- '3 1/2" x 11 1/8" LVL', etc. indicates engineered wood laminated veneer lumber - 2.0 E beam or post by Boise Cascade Co. or engineer-approved equal.

STRUCTURAL TIMBER CONSTRUCTION (cont.)

- Joist support by nailing is forbidden unless used with an approved hanger. Unless noted otherwise on plans, all flush-framed joists and beams shall be framed with Simpson hangers as follows (or engineer-approved equals).

(A) 2x6; 2x8	Type 'U26'
(B) 2x2x6; 2x2x8	Type 'U26-2'
(C) 3x2x6; 3x2x8	Type 'U26-3'
(D) 2x10; 2x12	Type 'U210'
(E) 2x2x10; 2x2x12	Type 'U210-2'
(F) 3x2x10; 3x2x12	Type 'U210-3'
(H) 3 1/2" x 9 1/2" LVL	Type 'HGLTV3.59'
(I) 5 1/2" x 9 1/2" LVL	Type 'HGLTV5.59'
(J) 3 1/2" x 11 1/8" LVL	Type 'HGLTV3.511'
(K) 5 1/2" x 11 1/8" LVL	Type 'HGLTV5.511'
(L) 3 1/2" x 14" LVL	Type 'HGLTV3.514'
(M) 5 1/2" x 14" LVL	Type 'HGLTV5.514'
(N) 3 1/2" x 16" LVL	Type 'HGLTV3.516'
(O) 5 1/2" x 16" LVL	Type 'HGLTV5.516'
- (It is the contractor's responsibility to determine correct hangers for all sloped and/or skewed conditions.)
- Minimum bearing for all joists and rafters shall be 4".
- Use double joists under all partitions.
- Partition and exterior stud walls shall be bridged once in their story height or at least every 4'-6" along the full stud height.
- Anchor bolts for structural timber shall be ASTM A307. Standard cut washers shall be provided between wood and bolt head, and between wood and bolt nut unless steel plates or plate washers are used.
- Exterior walls shall be framed with 2x6's at 16" O.C. with 1/2" APA rated SHEATHING, EXP. 1, span rating 24/16. Sheathing shall be installed with the long dimension perpendicular to the framing, and shall be nailed to the studs with 10d common nails at 4" O.C. at panel edges and 12" O.C. at all intermediate supports.
- Interior walls indicated on plans shall be framed with 2x4's at 16" O.C. or 2x6's at 16" O.C. (see plans and architectural drawings).
- Roof construction shall be as shown on the plans with 32/16 3/4" exterior plywood sheathing glued and nailed to joists, trusses and beams.
- Floor construction shall be as shown on the plans with 3/4" tongue and groove plywood sheathing glued and nailed to joists and beams.
- Interior headers shall be a minimum of 2x2x10 unless noted otherwise on the plans.
- Exterior door and window headers shall be a minimum of 3x2x10 with 2x2x6 jack studs and 2x2x6 king studs unless noted otherwise on the plans.
- No joist or beam shall be notched or drilled with holes without the specific approval of the architect.
- No joist or beam shall be repaired or reinforced in any way without the specific approval of the architect.
- Beams built up of multiple timbers shall be firmly nailed or bolted together.
- Plywood shall be laid with face grain parallel to span; stagger all joints.
- Sills shall be 2x2x6 pressure-treated and shall be anchored with 3/4" diameter expansion anchor not more than 32" O.C. and at 8" from each corner.
- Temporary erection bracing shall be provided to hold structural timber securely in position as described on the drawings. It shall not be removed until permanent bracing has been installed.
- Timber shall be generally knot-free, with only small tight knots permitted and generally straight-grained.
- Structural timber shall be identified by the grade mark or certificate of inspection issued by a grading or inspection bureau or agency recognized as being competent.
- Structural timber shall be visually stress-graded lumber in accordance with the provisions of ASTM designation D245-74, "Methods for Establishing Structural Grades and Related Allowable Properties for Visually Graded Lumber".
- Timber shall be so handled and covered as to prevent marring and moisture absorption from snow or rain.

STRUCTURAL DESIGN LOADS

- Dead loads

(A) Weight of building components

- Live loads

(A) Typical Residential Space - 40 PSF
(B) Bedrooms - 30 PSF
(C) Parking Areas - 100 PSF
(D) Roof snow load - 30 PSF plus drift where applicable Pg = 40 PSF; Is = 1.0; Ce = 1.0; Ci = 1.0
- Wind loads - Per Mass. Code and ASCE 7-10; Occupancy Category "II"
Basic Wind Speed Vult = 127 mph; Exposure B
End Zone Wall Pressure = 22.6 PSF (ult.); Int. Zone Wall Pressure = 18.4 PSF (ult.)



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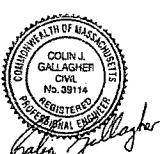


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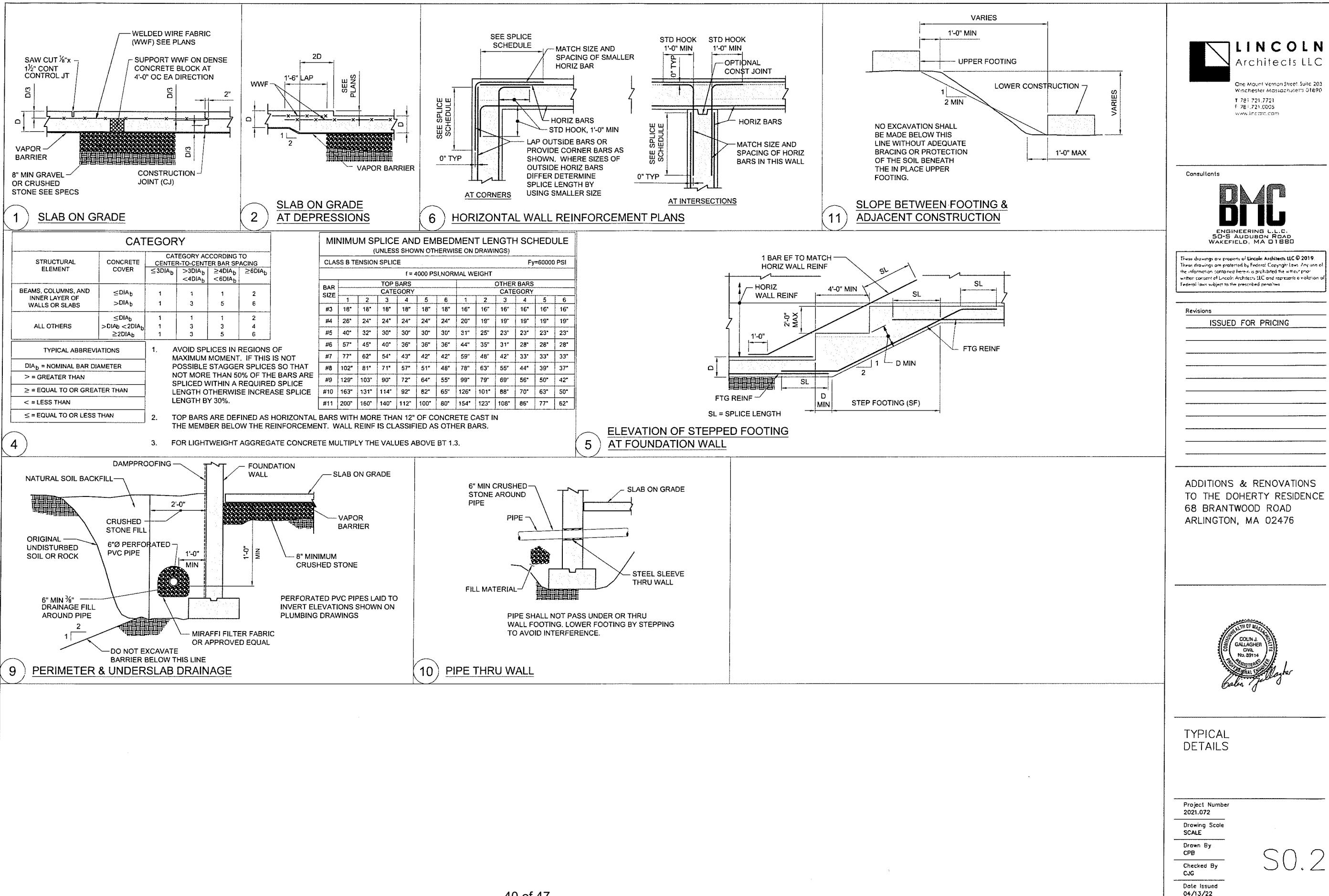
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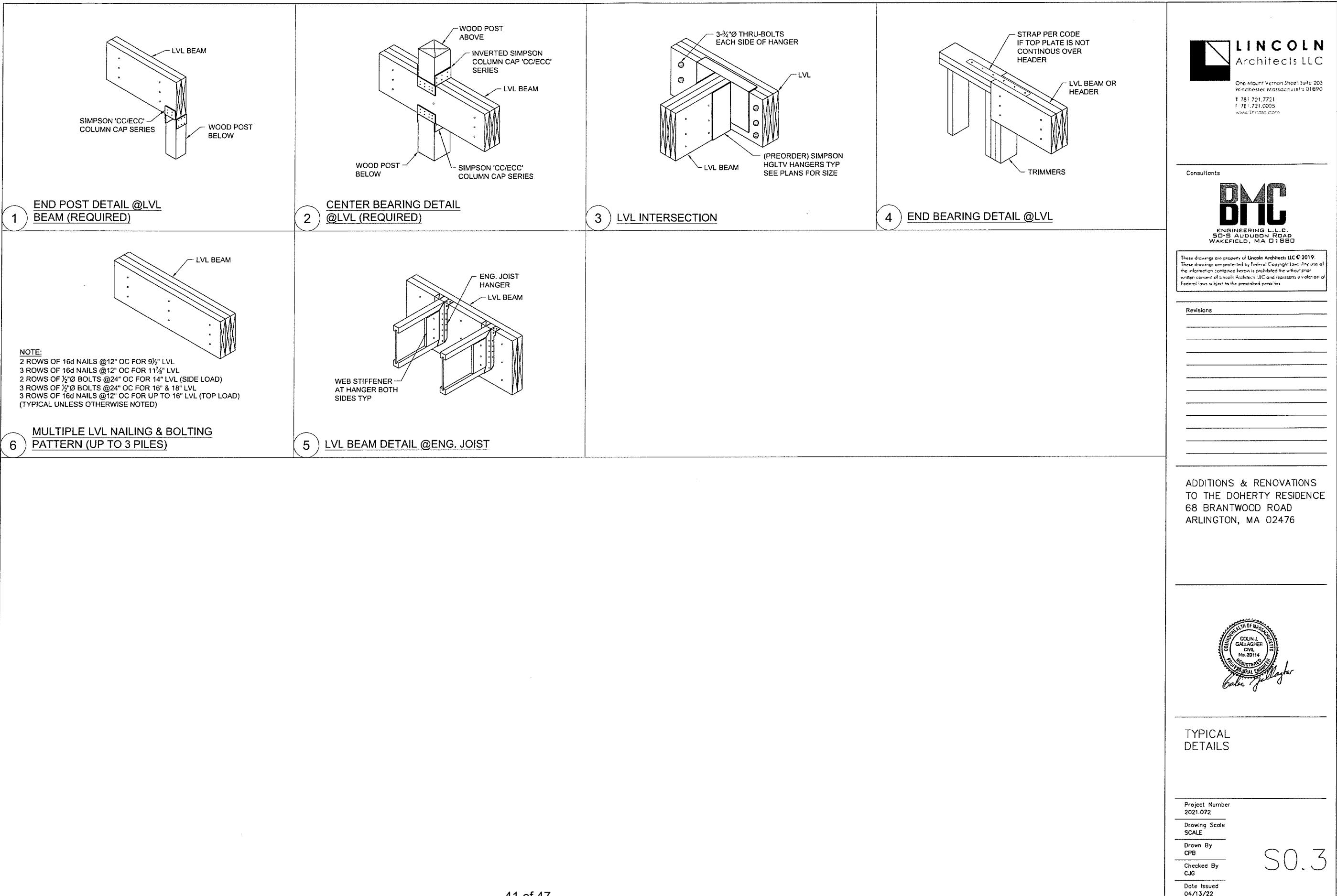


GENERAL
NOTES

Project Number
2021.072
Drawing Scale
SCALE
Drawn By
CPB
Checked By
CJG
Date Issued
04/13/22

S0.1





PLAN NOTES:

1. FOR GENERAL NOTES SEE S0.1.
2. FOR TYPICAL DETAILS SEE S0.2, S0.3 & S0.4.
3. INDICATES BEARING WALL BELOW.
4. INDICATES BEARING WALL STARTS ON BEAM.
5. INDICATES FLUSH FRAMED CONDITION REQUIRING JOIST HANGER SEE SCHEDULE ON S0.1.
6. S INDICATES SPAN DIRECTION OF T&G PLYWOOD GLUED AND NAILED TO JOISTS AND BEAMS.

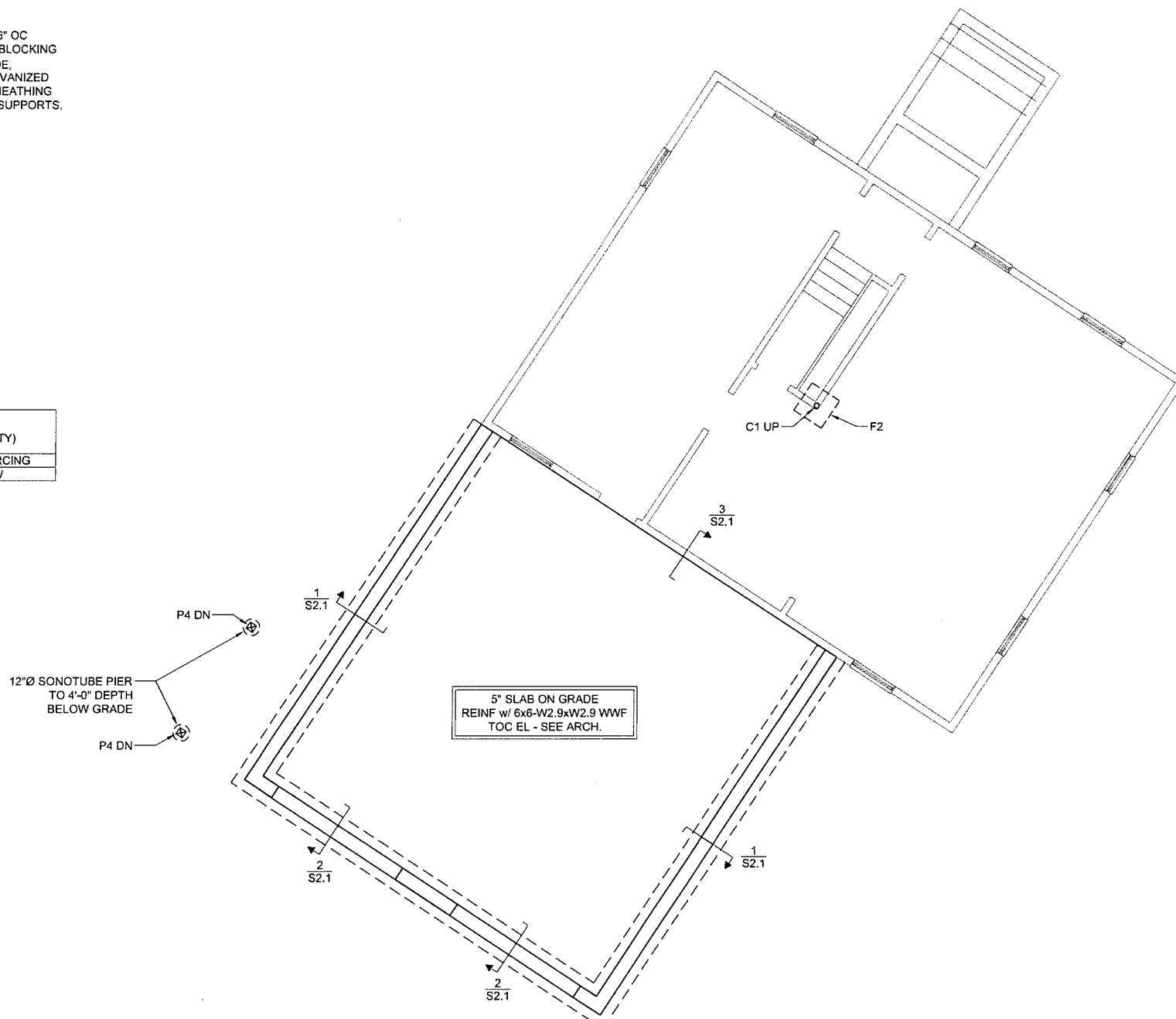
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WALL NOTES:

1. ALL EXTERIOR WALLS SHOWN ARE 2x6@16" OC (UNLESS NOTED ON PLAN) w/ MID-HEIGHT BLOCKING AND $\frac{1}{2}$ " PLYWOOD SHEATHING ON ONE SIDE, PLYWOOD IS NAILED TO STUDS w/ 10d GALVANIZED COMMON NAILS SPACED @4" OC @ ALL SHEATHING PANEL EDGES & 12" OC @ INTERMEDIATE SUPPORTS. STAGGER JOINTS IN SHEATHING PANELS.

POST / COLUMN SCHEDULE	
MARK	TYPE
P1	2-2x6
P2	3-2x6
P3	4-2x6
P4	6x6 PT
P5	3-2x4
C1	3 $\frac{1}{2}$ " Ø CONC. FILLED LALLY COLUMN

FOOTING SCHEDULE (1.0 TSF ALLOWABLE BEARING CAPACITY)		
MARK	SIZE	REINFORCING
F2	2'-0" x 2'-0" x 1'-0"	3#4 BEW



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FOUNDATION
PLAN

Project Number
2021.072

Drawing Scale
1/4" = 1'-0"

Drawn By
CPB

Checked By
CJG

Date Issued
04/13/22

S1.0

PLAN NOTES:

1. FOR GENERAL NOTES SEE S0.1.
2. FOR TYPICAL DETAILS SEE S0.2, S0.3 & S0.4.
3.  INDICATES BEARING WALL BELOW.
4.  INDICATES BEARING WALL STARTS ON BEAM.
5.  INDICATES FLUSH FRAMED CONDITION
REQUIRING JOIST HANGER SEE SCHEDULE ON S0.10.
6.  INDICATES SPAN DIRECTION OF T&G PLYWOOD
GLUED AND NAILED TO JOISTS AND BEAMS.
7.  INDICATES SPAN DIRECTION OF DECK PLANKS PER
ARCHITECTURAL DRAWINGS.
8. PT JOISTS TO RUN CONTINUOUSLY PAST THE EXTERIOR
WALL AS CANTILEVERED DECK JOISTS. JOISTS MAY BE
RIPPED TO 9/16" MIN. DEPTH AT EXTERIOR (NOTCH TOP SIDE
TO CREATE STEP DOWN FROM INTERIOR IF REQUIRED).
CUT WALL SHEATHING AROUND CANTILEVERED JOISTS
AND WEATHERPROOF ANY SEAMS.
9. PROVIDE SOLID 2x BLOCKING BETWEEN CANTILEVERED
JOISTS AT EXTERIOR WALL SUPPORT LINE.
10. C10s ARE TO BE THRU-BOLTED TO EXISTING 5 1/2" x 7 1/2" WOOD
BEAM w/ 1/2" Ø THRU-BOLTS @ 12" O.C., CENTERED ON THE
CHANNEL WEBs.



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MAIN LEVEL FRAMING PLAN

Project Number
21.072

owing Scale
4" = 1'-0"

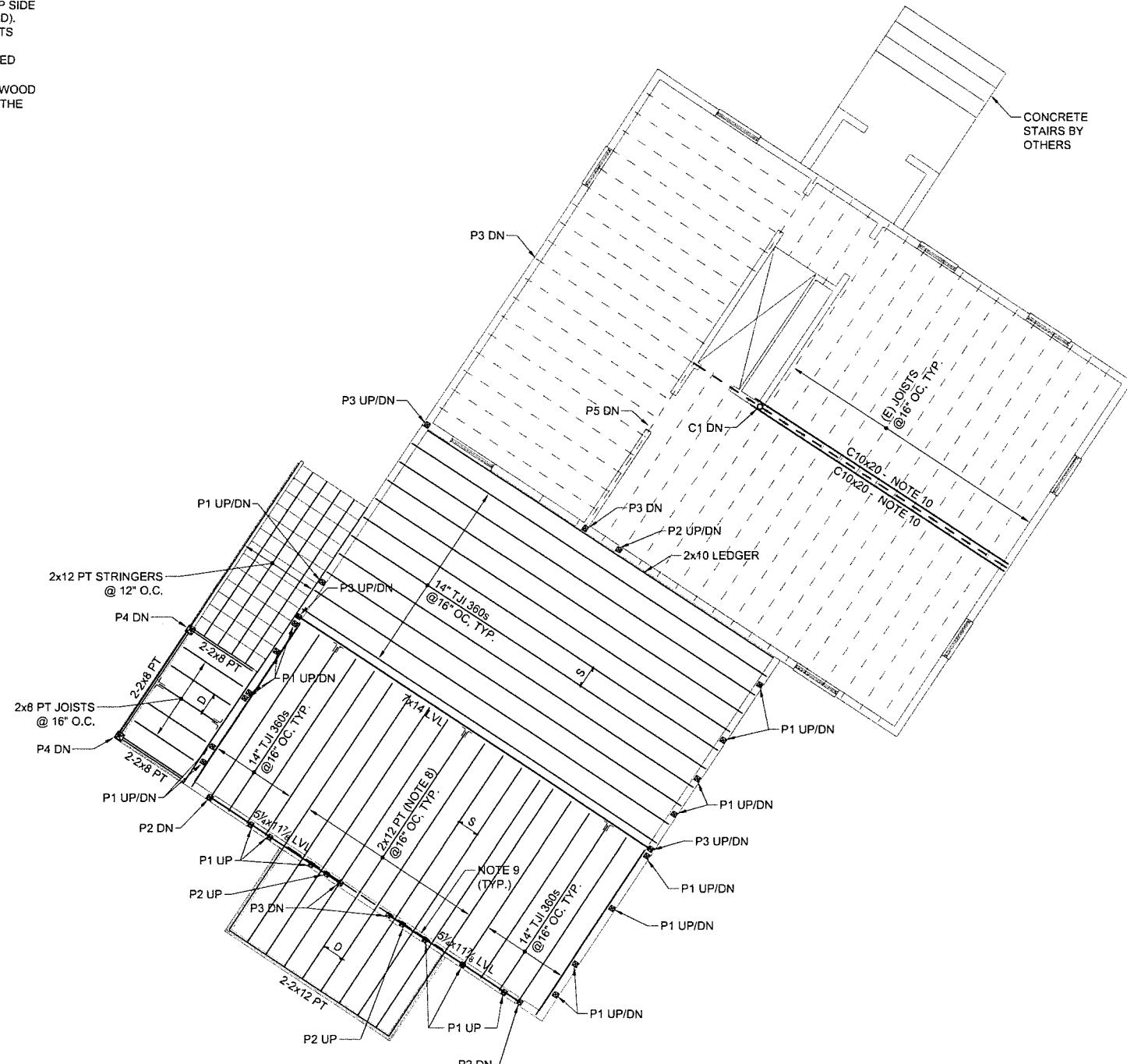
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1000

POST / COLUMN SCHEDULE	
MARK	TYPE
P1	2-2x6
P2	3-2x6
P3	4-2x6
P4	6x6 PT
P5	3-2x4
C1	3 1/2" O CONC. FILLED LALLY COLUMN



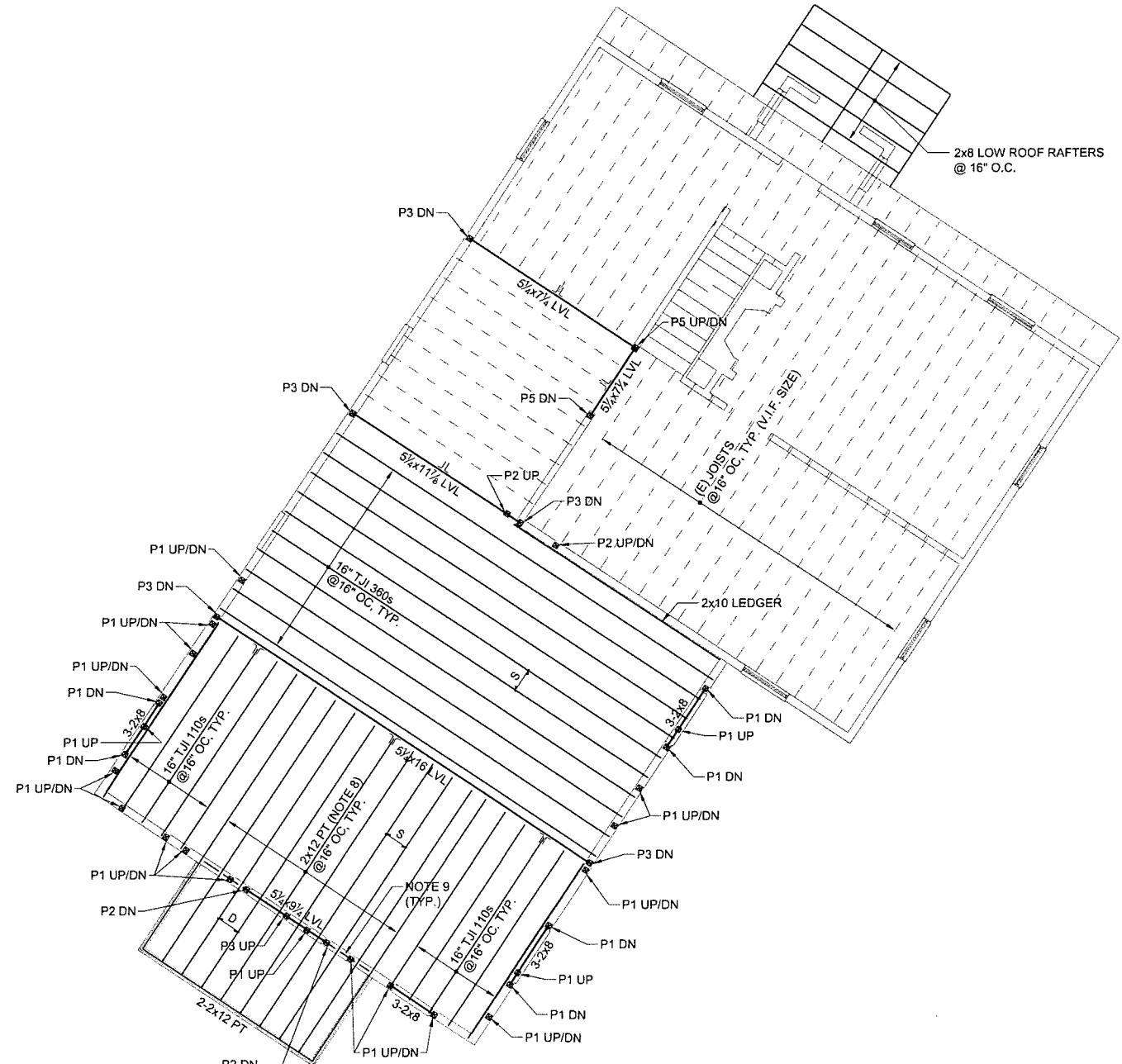
PLAN NOTES:

1. FOR GENERAL NOTES SEE S0.1.
2. FOR TYPICAL DETAILS SEE S0.2, S0.3 & S0.4.
3. [] INDICATES BEARING WALL BELOW.
4. [] INDICATES BEARING WALL STARTS ON BEAM.
5. [] INDICATES FLUSH FRAMED CONDITION
REQUIRING JOIST HANGER SEE SCHEDULE ON S0.10.
6. S INDICATES SPAN DIRECTION OF T&G PLYWOOD
GLUED AND NAILED TO JOISTS AND BEAMS.
7. D INDICATES SPAN DIRECTION OF DECK PLANKS PER
ARCHITECTURAL DRAWINGS.
8. PT JOISTS TO RUN CONTINUOUSLY PAST THE EXTERIOR
WALL AS CANTILEVERED DECK JOISTS. JOISTS MAY BE
RIPPED TO 9/16" MIN. DEPTH AT EXTERIOR (NOTCH TOP SIDE
TO CREATE STEP DOWN FROM INTERIOR IF REQUIRED).
CUT WALL SHEATHING AROUND CANTILEVERED JOISTS
AND WEATHERPROOF ANY SEAMS.
9. PROVIDE SOLID 2x BLOCKING BETWEEN CANTILEVERED
JOISTS AT EXTERIOR WALL SUPPORT LINE.

WALL NOTES:

1. ALL EXTERIOR WALLS SHOWN ARE 2x6@16" OC
(UNLESS NOTED ON PLAN) w/ MID-HEIGHT BLOCKING
AND $\frac{1}{2}$ " PLYWOOD SHEATHING ON ONE SIDE,
PLYWOOD IS NAILED TO STUDS w/ 10d GALVANIZED
COMMON NAILS SPACED @4" OC @ ALL SHEATHING
PANEL EDGES & 12" OC @ INTERMEDIATE SUPPORTS.
STAGGER JOINTS IN SHEATHING PANELS.

POST / COLUMN SCHEDULE	
MARK	TYPE
P1	2-2x6
P2	3-2x6
P3	4-2x6
P4	6x6 PT
P5	3-2x4
C1	3 1/2" CONC. FILLED LALLY COLUMN



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UPPER LEVEL FRAMING PLAN

Project Number
2021.072

Drawing Scale
 $1/4" = 1'-0"$

Drawn By
CPB

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Date Issued
04/13/22

S1.2

PLAN NOTES:

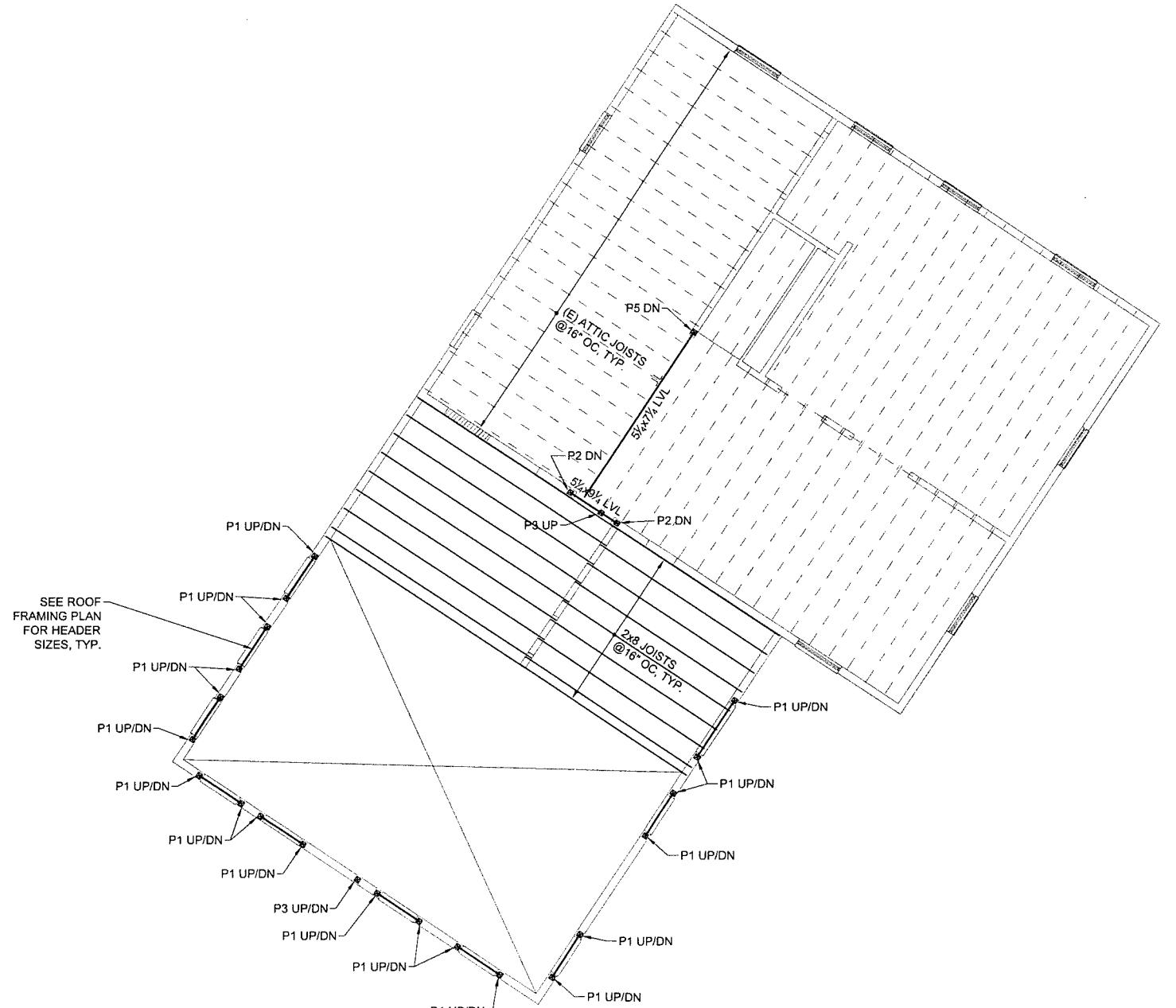
1. FOR GENERAL NOTES SEE S0.1.
2. FOR TYPICAL DETAILS SEE S0.2, S0.3 & S0.4.
3.  INDICATES BEARING WALL BELOW.
4.  INDICATES BEARING WALL STARTS ON BEAM.
5.  INDICATES FLUSH FRAMED CONDITION REQUIRING JOIST HANGER SEE SCHEDULE ON S0.10.

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WALL NOTES:

1. ALL EXTERIOR WALLS SHOWN ARE 2x6@16" OC (UNLESS NOTED ON PLAN) w/ MID-HEIGHT BLOCKING AND $\frac{1}{2}$ " PLYWOOD SHEATHING ON ONE SIDE. PLYWOOD IS NAILED TO STUDS w/ 10d GALVANIZED COMMON NAILS SPACED @4" OC @ ALL SHEATHING PANEL EDGES & 12" OC @ INTERMEDIATE SUPPORTS. STAGGER JOINTS IN SHEATHING PANELS.

POST / COLUMN SCHEDULE	
MARK	TYPE
P1	2-2x6
P2	3-2x6
P3	4-2x6
P4	6x6 PT
P5	3-2x4
C1	3 $\frac{1}{2}$ " \varnothing CONC. FILLED LALLY COLUMN



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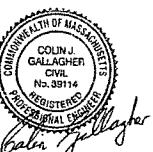
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ATTIC
FRAMING PLAN

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S1.3

PLAN NOTES:

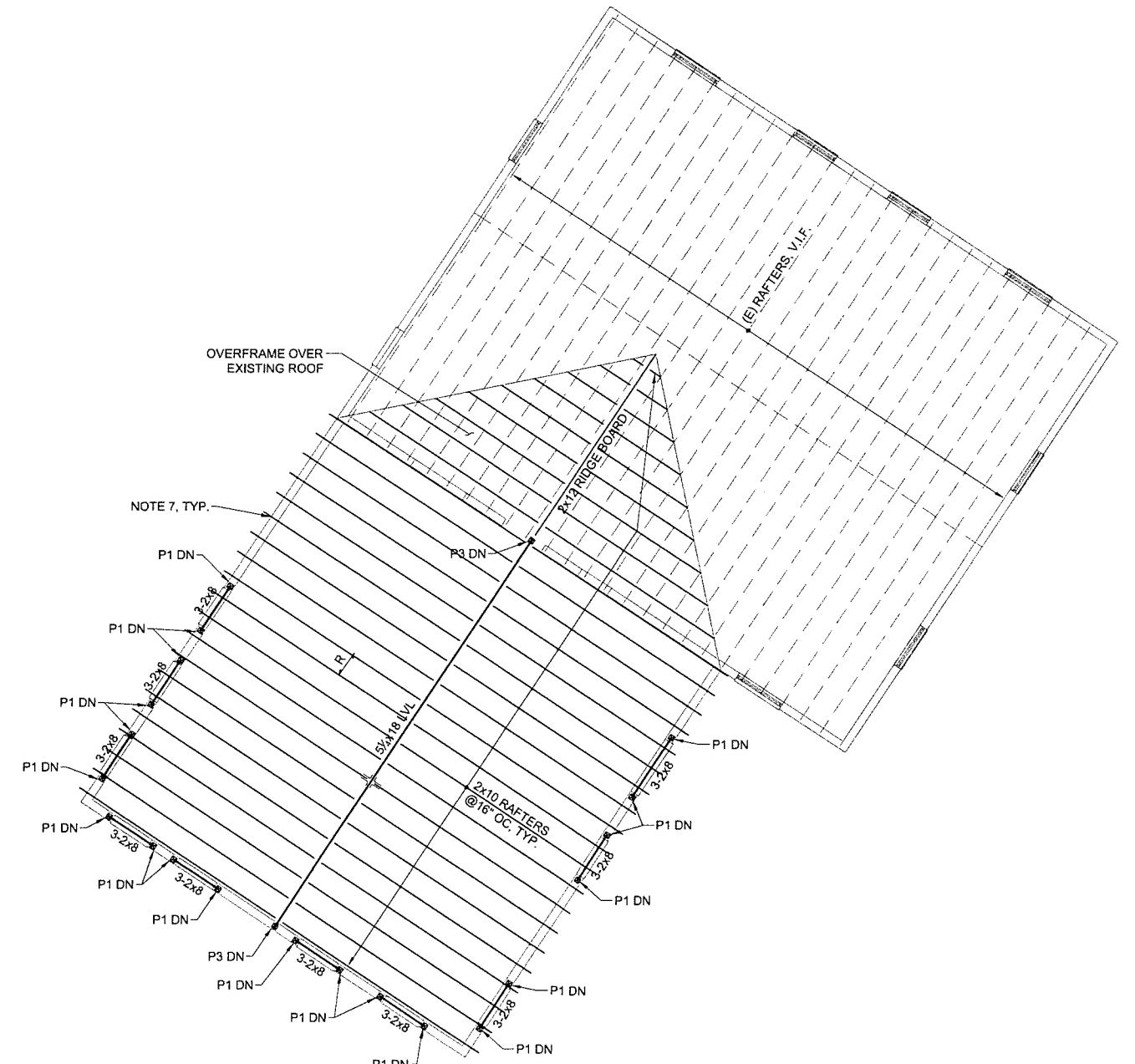
1. FOR GENERAL NOTES SEE S0.1.
2. FOR TYPICAL DETAILS SEE S0.2, S0.3 & S0.4.
3.  INDICATES BEARING WALL BELOW.
4.  INDICATES BEARING WALL STARTS ON BEAM.
5.  INDICATES FLUSH FRAMED CONDITION REQUIRING JOIST HANGER SEE SCHEDULE ON S0.10.
6.  R INDICATES SPAN OF $\frac{5}{8}$ " EXTERIOR GRADE PLYWOOD GLUED & NAILED TO RAFTERS.
7. INSTALL SIMPSON (1) H2.5A TYPE HURRICANE TIES AT THE BASE OF EACH RAFTER.



WALL NOTES:

1. ALL EXTERIOR WALLS SHOWN ARE 2x6@16" OC (UNLESS NOTED ON PLAN) w/ MID-HEIGHT BLOCKING AND $\frac{1}{2}$ " PLYWOOD SHEATHING ON ONE SIDE, PLYWOOD IS NAILED TO STUDS w/ 10d GALVANIZED COMMON NAILS SPACED @4" OC @ ALL SHEATHING PANEL EDGES & 12" OC @ INTERMEDIATE SUPPORTS. STAGGER JOINTS IN SHEATHING PANELS.

POST / COLUMN SCHEDULE	
MARK	TYPE
P1	2-2x6
P2	3-2x6
P3	4-2x6
P4	6x6 PT
P5	3-2x4
C1	3 $\frac{1}{2}$ " CONC. FILLED LALLY COLUMN



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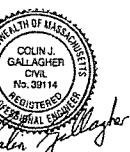


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ROOF
FRAMING PLAN

Project Number
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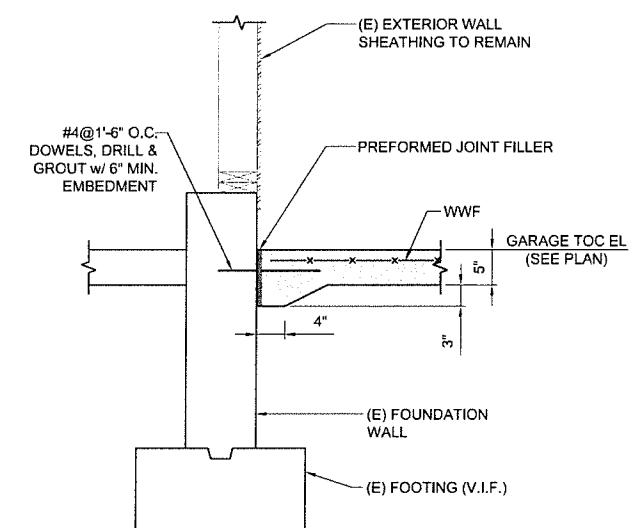
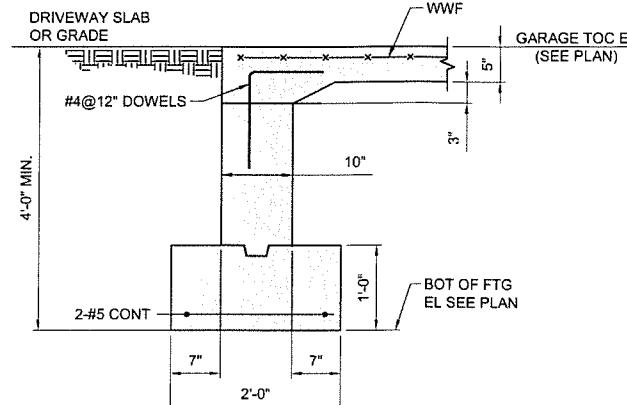
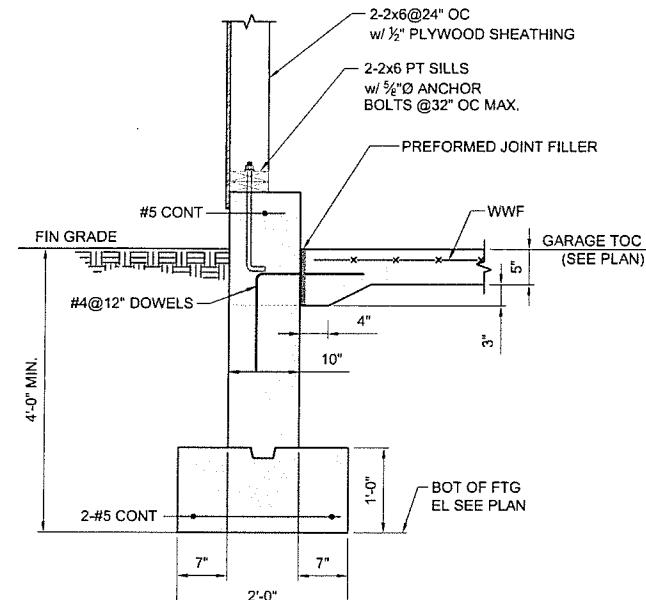
Drawing Scale
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Drawn By
CPB

Checked By
CJG

Date Issued
04/13/22

S1.4



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DETAILS

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Date Issued
04/13/22